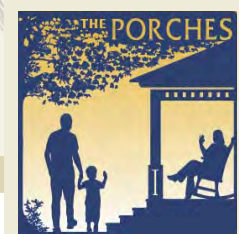
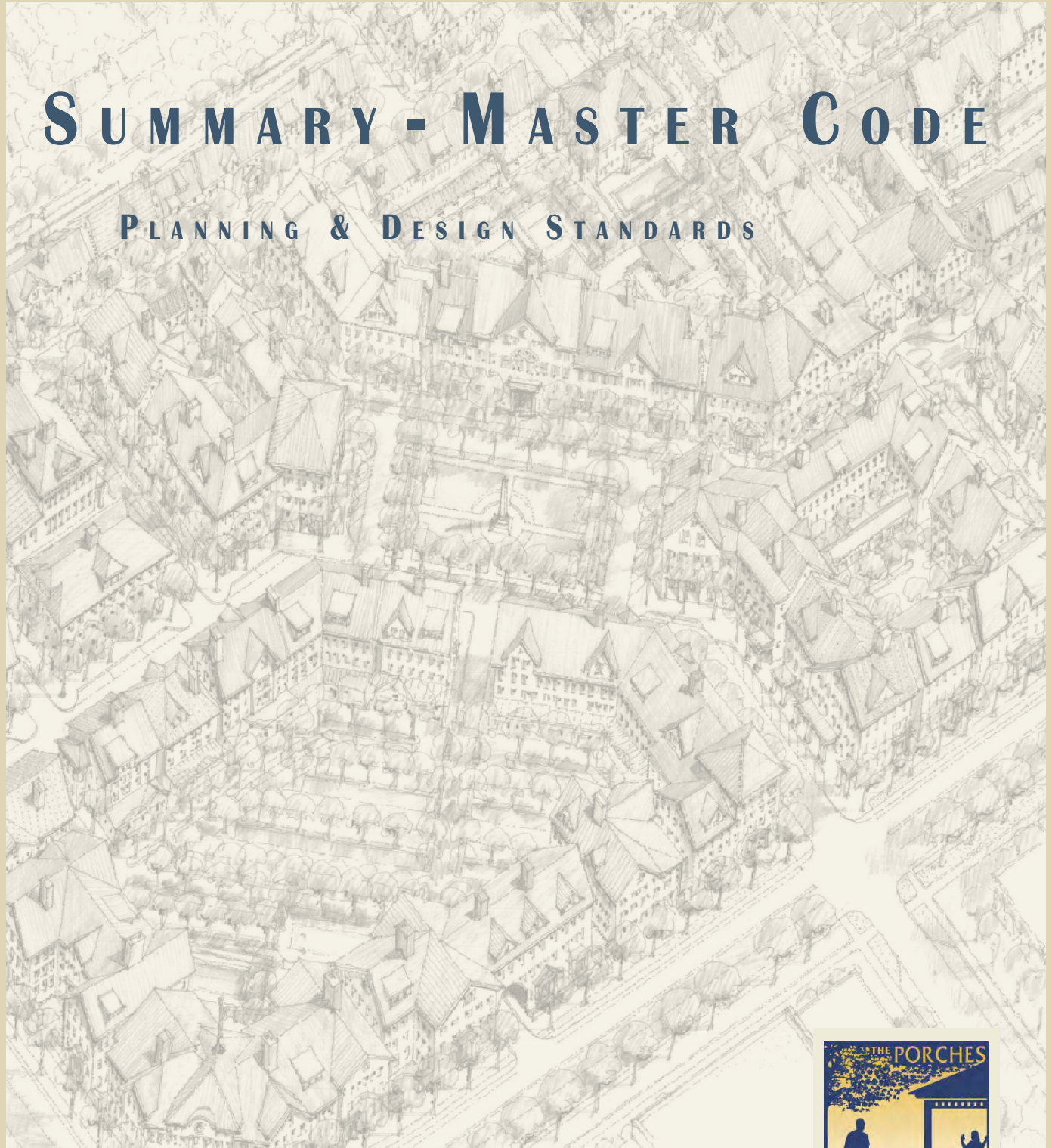


THE PORCHES AT ENTRADA

SUMMARY - MASTER CODE

PLANNING & DESIGN STANDARDS



DECEMBER 2007

CHAPTER

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PRINCIPLES FOR NEIGHBORHOOD AND VILLAGE

Fifteen principles, placed at the heading of each Section of the following Summary, are enumerated here in the order they are placed within the accompanying Master Plan Code Manual. They serve as an introduction to strategies of planning and design based on traditional towns, and are described in detail within each Section of the Code Manual.

I. INTENT & GOALS

The Neighborhood Unit

Establish the Walkable Measure of “Edge to Center”: Development of a pleasant, walkable neighborhood is best accommodated in an area ranging from 80 to 200 acres, forming a place that encourages citizens to know one another and take collective responsibility for its maintenance and evolution. The good neighborhood - of any type or density - requires buildings which are modest in scale and varied in use, and, taken as a whole, house a variety of daily activities within the neighborhood. The maximum walk from the houses at a neighborhood's edge to its center should be five minutes.

Development Size & Location

A Mixed Use Neighborhood is the Basic Increment of Planning: Neighborhoods are defined areas containing a balance of activities: a variety of housing, adequate shopping, a range of workplaces, and facilities for elementary education. These are integrated within the neighborhood by a network of small streets. Neighborhoods aggregate to form cities, towns, and villages - while a single neighborhood standing free in the landscape is defined as a hamlet.

II. COMMUNITY REGULATIONS

Scale, Density, Context

Section A.1

Neighborhood Zones Create a Gradient of Density and Character: The character of any neighborhood changes between its center and its edges. For instance, the center has a mix of residential and commercial uses, larger buildings, more variety of building type, diversity of architectural expression, wider streets, more on-street parking, bigger sidewalks and hard surface streetscape details. Every element of the town making sustains a distinct experience in one setting (or zone) of the neighborhood - when contrasted with another zone.

Land Use

Section A.2

All Daily Activities are Integrated at Appropriate Scales: The central areas of a neighborhood are the most dense and mixed in use. An average density of five residential units per acre within walking range generates a critical mass of people in close proximity to daily services and activities. This yields a mutual support between local residents and local small businesses. The land uses within the neighborhood change from most dense (and mixed use) to least dense (and purely residential) over the span of the center-to-edge five minute walk.

Streets and Blocks

Section B.1

Blocks (and buildings at their edge) Define Street Spaces: Blocks are a critical element of town-making; they are indivisible from the formation of specific streets and the overall street network. The most important attributes of blocks are their (proper) size and their function of containing lots which front on to each contiguous street. The four types of blocks which make up a mixed use center are: Civic block, Commercial block, Residential block, and Mixed-Use block.

Platting and Parcel Layout

Section B.2

Private Buildings form a Visual Background for Public Sites: Within the network of streets and blocks, key sites for public and commercial buildings articulate the pattern of varied uses making up the neighborhood. Buildings such as libraries, places of worship, day care facilities, and recreation structures should occupy prominent places and be planned in coordination with public open places. Private uses, such as residences, are generally part of a continuous pattern of “background” buildings.

Building Types**Section C.2**

Traditional Precedents yield Modest, Subtle Buildings: Flexible use regulations linked to appropriate building types can provide for a range of small scale retail and workplace needs that are not intrusive to residences when properly situated at the ground floor sidewalk access, or 'around the corner' at the neighborhood center area. Rear 'outbuilding' residences on single familots also provide high quality, well maintained housing for family and neighborhood residents of limited income or special needs.

Buildings and Frontages**Section C.3**

Buildings and Front Doors Enfront Public Spaces and Streets: The frontage of a building is the space from the building facade to the front lot line. The frontage meets public areas and gives character to spaces. The primary task of building design is the shaping of streets and public spaces as 'places of shared use'. The attributes and quality of these places influence social behavior.

III. PUBLIC SPACES & STREET REGULATIONS**Public Spaces****Section A.1**

A Variety of Open Spaces Serves the Entire Community: Common spaces, natural and landscaped open areas as well as central squares of hard surface, are for the use and enjoyment of the entire community. Streets, sidewalks, and promenades connect to these spaces, so that open places become important and convenient destinations for commerce and gathering. An 'active plaza' or a 'quiet green' each have an importance for residents.

Thoroughfares**Section B.1**

Attractive, Intimate Streets Balance Walking and Driving Needs: Streets and walkways are planned and detailed as carefully as are buildings or key public places. Any neighborhood is made up of a variety of street types - conceived for their character as much as their capacity. Streets form the public edges of all blocks and virtually all lots, and they become 'outdoor rooms' which contribute tangibly to the qualities of the neighborhood.

Parking and Service Access**Section B.2**

Control Impacts of Vehicles by Locating them Inside the Block: The techniques of providing for parking, deliveries, and collection in traditional town patterns are different from conventional suburban patterns. Off-street parking is masked behind buildings or street-front walls (to enhance the pedestrian experience). On-street parking is purposefully designed as part of an entire ensemble of thoroughfare and streetscape, balancing vehicle and foot requirements.

Public R.O.W. Conditions**Section C.1**

Pedestrian Comfort Derives from Streetscape Amenity: Streets are for both people and cars. Neighborhood streets are public places, meant to comfortably support all forms of transportation - including pedestrians and bicyclists - enhancing mobility for the very young and very old. Streetscapes derive their public character when all lots within every block 'front' onto their street. Consequently, on each lot, a building presents its front door to the street.

Landscape Elements**Section C.2**

Clarify the Edge of Spaces, Enrich the Character of Public Places: Landscape elements of the neighborhood are integral to the attributes of the public spaces. They are not ornamental as in conventional suburban spaces. Landscaping for streetscapes and public places acts primarily to define clear spaces, filling gaps occasioned by discontinuity in building frontage or correcting excessively wide street spaces (with columns of tree trunks and canopies of branches).

IV. ARCHITECTURAL REGULATIONS**Building Craft****SECTION A.1**

Neighboring Buildings use a Common Language of Town Making: The design and detailing of buildings enhances the community when done complementary to the town making - creating a pedestrian friendly atmosphere of beautiful streets, memorable public places, distinctive building types, and unique front yards and forecourts. No structure calls too much attention to itself unless it has a civic use. When each building plays by the right rules, its individuality is balanced by the harmonious ensemble of several buildings, and yields a coherent identity of a place.

Architectural Pattern**SECTION B.1**

Design for Today's Needs through Respect for Local Tradition: Good planning depends on tangible, commonly understood physical elements and images. Design qualities which have shaped the community can be written as a set of guidelines that comprise a coherent, vivid, 'three dimensional' zoning code. Civic buildings require important sites and special character to reinforce community identity. These buildings front special places and have special attributes, which are distinct from the buildings of commonplace commercial or residential uses.

CHAPTER I.

INTRODUCTION

A. PURPOSE

B. APPLICABILITY

PRINCIPLE

Establish the walkable measure of Edge-to Center.

Development of a pleasant, walkable neighborhood is best accommodated in an area ranging from 80 to 200 acres, forming a place that encourages citizens to know one another and take collective responsibility for its maintenance and evolution. The good neighborhood - of any type or density - requires buildings which are modest in scale, varied in use, and, taken as a whole, house a variety of daily activities within the neighborhood. The maximum walk from the houses at a neighborhood's edge to its center should be five minutes.

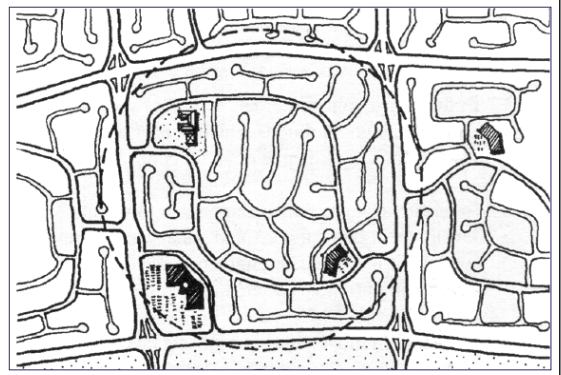


The Typical Traditional Neighborhood

The optimum walking distances of a neighborhood are comprised of approximately 1,500 feet from edge to center, and 1,000 feet from one end of the commercial core (darkest tone) to the other.

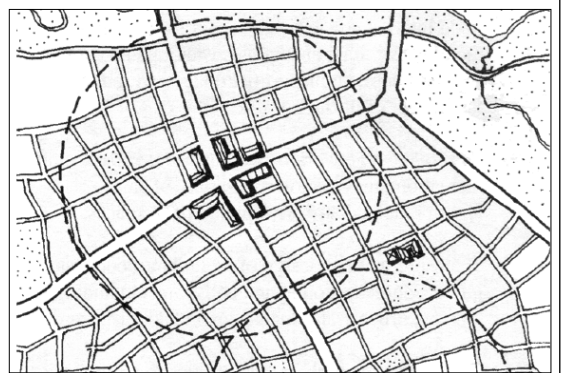
Conventional Planning

Subdivisions in "cells" locate housing pods between arterial roads in large single land-use components. Commercial centers comprising shops, open space, or a school are sometimes located within the cell. Vehicular movement occurs within a curvilinear cul-de-cac street structure, with a segregated pedestrian network (usually called trails).



Traditional Planning

The patterns of traditional towns seek to integrate land uses within a network of interconnected streets designed for all users. Neighborhood centers are located at the intersection of major streets to provide for retail exposure. Large parks and standard sized schools are located between neighborhoods so that walking access to the center is not compromised.



PRECEDENTS

Walkable neighborhoods foster pedestrian mobility for the young, the elderly, parents at home with children, and social groups unable to afford a car. The public spaces created by good streets strengthen personal and civic bonds essential to an authentic community.

CONVENTIONAL

Conventional subdivision pattern is a single use monoculture with standardized houses, price levels, social strata, streets, and very few public gathering locations.

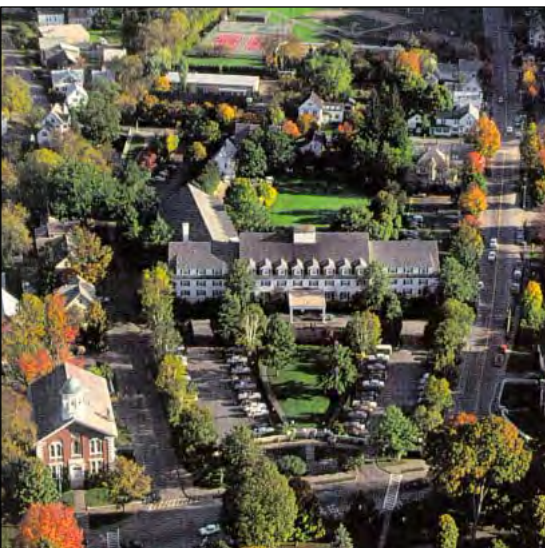


Conventional Planning

Streets excessively wide, with no destination available for the pedestrian and defined primarily by garage fronts, will not suggest nor reward a walking experience to residents.

TRADITIONAL

Traditional neighborhood pattern contains a coherent variety of uses, building types, residential prices, sidewalks and pedestrian passages, and several public places of diverse character.



Traditional Planning

A walkable environment depends on the amenity created by well detailed streetscapes, clearly defined and intimate street spaces, building fronts and entrances giving character to the street, and attractively planted or fenced front yards.

PRINCIPLE

The Mixed Use Neighborhood is the basic unit of planning.

Neighborhoods are defined areas containing a balance of activities: a variety of housing, adequate shopping, a range of workplaces, and facilities for elementary education. These are integrated within the neighborhood by a network of small streets. Neighborhoods aggregate to form cities, towns, and villages - while a single neighborhood standing free in the landscape is defined as a hamlet.

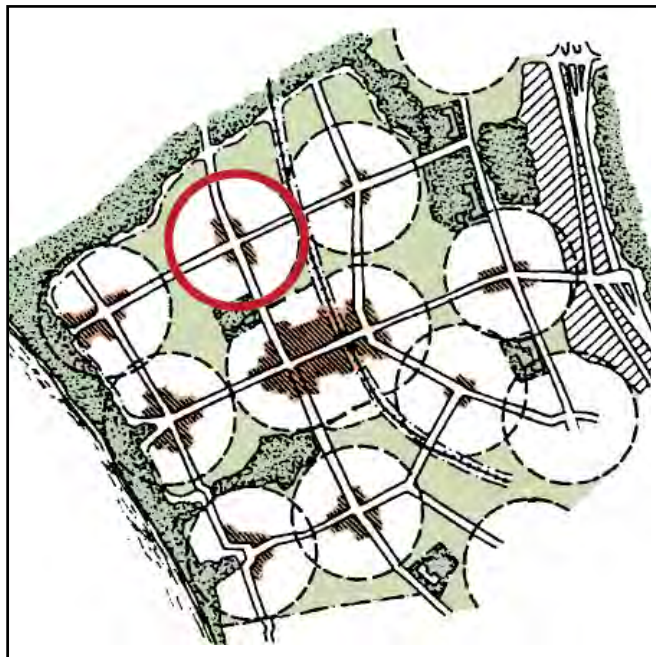
A TYPICAL NEIGHBORHOOD



In a similar manner by which assembled neighborhoods make a town, a neighborhood is comprised of streets and blocks organized by a network of carefully composed streets and public spaces.

At the next step (down) in scale in the hierarchy of town making elements, the lots of each block front onto the public ways (streets, sidewalks, or parks). The buildings on each lot are placed at the front of the lot, and present their front doors to the streetscape.

THE ASSEMBLY OF NEIGHBORHOODS



THE STREET NETWORK



PRECEDENTS

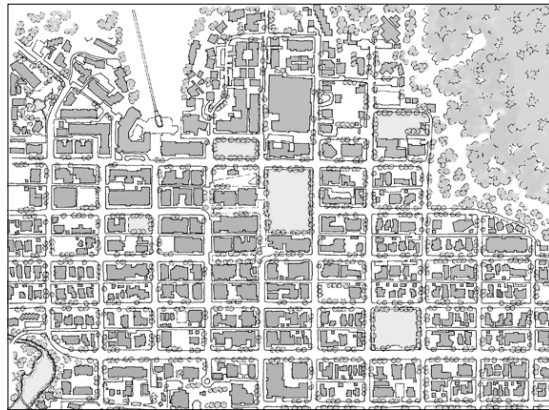
MIXED USE COMMUNITIES

The size of communities can be defined by the Neighborhood. In order to design a new community, there are long standing models which can be measured and described - in area, population, dwelling units, size of the Center, and mix of commercial activity - as points of reference that can guide planning with exacting precedents and a comprehensive integration of all design factors.

TOWN SCALE

Aspen, Colorado

250 Acres (Shown)



Town Center Conditions



VILLAGE SCALE

Kentlands, Maryland

210 Acres (Shown)



Village Center Conditions



NEIGHBORHOOD SCALE

Rosemary Beach, Florida

105 Acres (Shown)



Neighborhood Center Conditions



CHAPTER II.

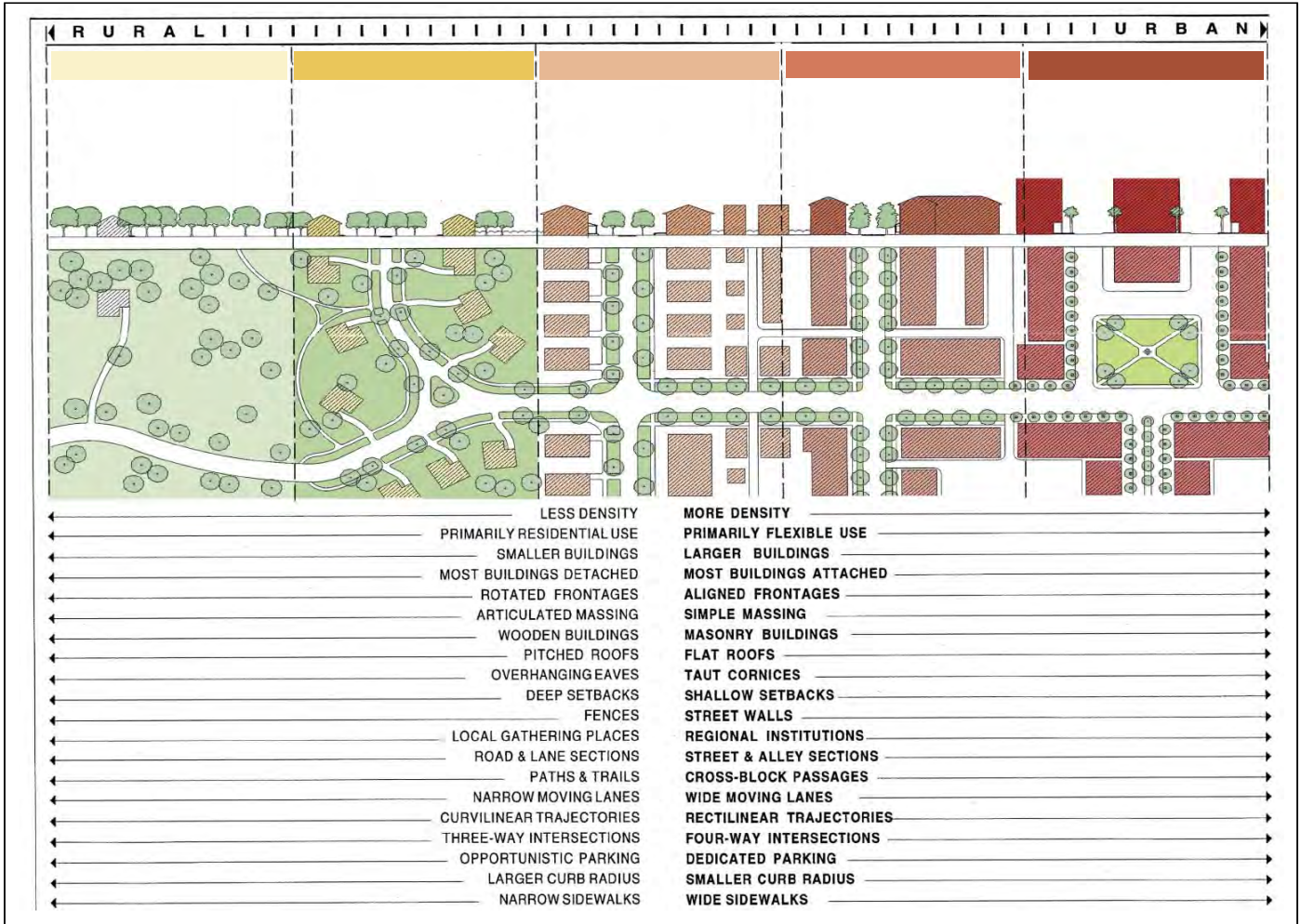
COMMUNITY: REGULATIONS FOR THE SCALE OF NEIGHBORHOOD

- A. NEIGHBORHOOD STRUCTURE
 - B. TOWN DESIGN
 - C. DEVELOPMENT CHARACTER
-

PRINCIPLE

Neighborhood zones create a gradient of density and character.

The character of any neighborhood changes between its center and its edges. For instance, the center has a mix of residential and commercial uses, larger buildings, more variety of building type, diversity of architectural expression, wider streets, more on-street parking, bigger sidewalks and hard surface streetscape details. Every element of the town making sustains a distinct experience in one setting (or zone) of the neighborhood when contrasted with another zone.



Edge Setting



Center Setting

PRECEDENTS

A neighborhood's walkable scale of one quarter mile (1,350 feet) from Center to Edge yields a walk of five minutes comfortably paced. Neighborhoods are grouped around Centers of varied size: Urban Core, Town Center, Village Center, and Neighborhood Center. The density and mix of uses in each setting can have different characteristics, as will the identity, the regional context, and the social mix of each place. The key dimension remains the pedestrian's comfort and use of the place.

TOWN SCALE

Neighborhood Edge

Neighborhood General

Neighborhood Center

Town Center

Town Center Scale



VILLAGE SCALE

Neighborhood Edge

Neighborhood General

Neighborhood Center

Village Center

Village Center Scale



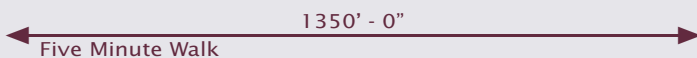
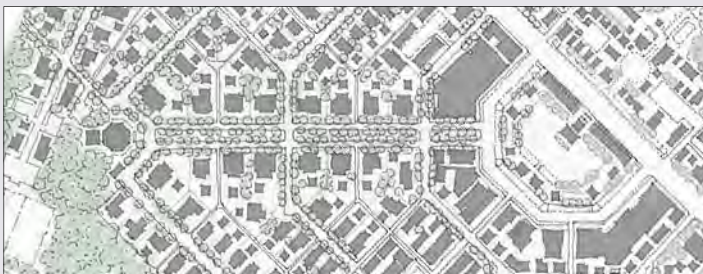
NEIGHBORHOOD SCALE

Neighborhood Edge

Neighborhood General

Neighborhood Center

Neighborhood Center Scale



PRINCIPLE

All daily activities are integrated at appropriate scales.

The central areas of a neighborhood are the most dense and mixed in use. An average density of five residential units per acre within walking range of a center generates a critical mass of people in close proximity to daily services and activities. This yields a mutual support between local residents and local small businesses. The land uses change within the neighborhood from most dense (and mixed use) to least dense (and purely residential) over the span of the center-to-edge five minute walk.

- NR
NEIGHBORHOOD RURAL ZONE
 The edge of a neighborhood with low density and areas of exclusively residential use.
- NE
NEIGHBORHOOD EDGE ZONE
 An outer residential area with low to moderate density and very minimal mix of uses.
- NG
NEIGHBORHOOD GENERAL ZONE
 Typically the largest land area within a neighborhood, with moderate density and a minor mix of uses.
- NC
NEIGHBORHOOD CENTER ZONE
 A central area with moderately high density and a moderate mix of uses.
- TC
TOWN CORE ZONE
 The most central area of a neighborhood, with highest density and greatest mix of uses: both commercial and residential.



R U R A L			U R B A N
NE EDGE ZONES	NG GENERAL ZONES	NC CENTER ZONES	TC CORE ZONES
<p>Land use is restricted, combining residential with certain other uses only within the outbuilding.</p> <p>Buildings of the low density freestanding edge yard type.</p> <p>Streetscapes which create the most rural conditions: parkway, road, and lane.</p> <p>Thoroughfares are roads and drives. Buildings may be served by rear lanes, though wider lots may dispense with them.</p> <p>Open space may be parks within the proximate greenbelt.</p>	<p>Land use is limited, permitting the controlled combination of residential with other uses.</p> <p>Buildings of the medium density freestanding side yard and edgeward types.</p> <p>Streetscapes which create a variety of conditions: road, residential street, and avenue.</p> <p>Thoroughfares are avenues, streets, and roads. Most buildings are served by rear lanes.</p> <p>Open space is organized as parks and greens.</p>	<p>Land use is open, encouraging the combination of residential and other uses.</p> <p>Buildings of the higher density attached courtyard, rear yard, and also side yard types.</p> <p>Streetscapes which create urban conditions: residential street, commercial street, avenue, and boulevard.</p> <p>Thoroughfares are avenues and streets. All buildings are served by rear alleys.</p> <p>Open space is organized as plazas or squares.</p>	<p>Land use is open, encouraging the combination of residential and other uses. There is usually a mandatory retail frontage.</p> <p>Buildings only of the high density attached courtyard and rear yard types.</p> <p>Streetscapes which create the most urban conditions: commercial street, avenue, and boulevard.</p> <p>Thoroughfares are streets and boulevards. All buildings are served by rear alleys.</p> <p>Open space is organized as plazas or squares.</p>

PRECEDENTS

A neighborhood can be described by the "walkable cross section", changing character from edge to center over the course of a five minute (quarter mile) walk.



ZONES OF THE NEIGHBORHOOD: Four zones describe the walkable cross section



NEIGHBORHOOD EDGE



NEIGHBORHOOD GENERAL



NEIGHBORHOOD CENTER



TOWN CORE

PRINCIPLE

Blocks (and buildings at their edge) define street spaces.

Blocks are a critical element of town-making; they are indivisible from the formation of specific streets and the overall street network. The most important attributes of blocks are their proper size and their function of containing lots which front on to each contiguous street. The four types of blocks which make up a mixed use neighborhood are: Civic block, Commercial block, Residential block, and Mixed-Use block.

MIXED USE BLOCKS

Different of uses may be brought together within the mixed-use block type. Retail uses should occur near the center of a Neighborhood, to minimize walking distances from surrounding uses.



TRADITIONAL



CONVENTIONAL

RESIDENTIAL BLOCKS

Residential blocks may be created with a great variety of character, depending on region, landscape, and their location within the Transect (center to edge gradient) of the neighborhood.



TRADITIONAL



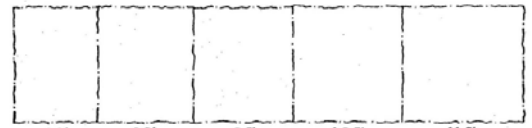
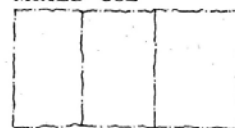
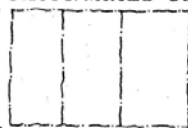
CONVENTIONAL

LOT WIDTHS BY USE:
SHOPS SHOPS
TOWNHOUSES DUPLEXES

SMALL SINGLE FAMILY
FAMILY SHOPS/MIXED USE

SINGLE FAMILY VILLAGE HOUSES
MIXED-USE

LARGER SINGLE FAMILY
MULTI-FAMILY
INSTITUTIONAL



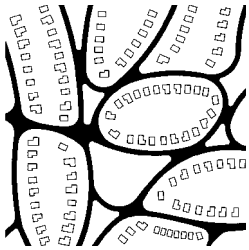
Different uses generally bring different lot widths to the platting of the block. Note that lot depths are usually fairly consistent (ranging from 100' - 0" to 125' - 0").

PRECEDENTS

BLOCKS CREATED BY THE NETWORK TYPE

BLOCK FORMS (RESULTING)

CURVILINEAR STREET NETWORK



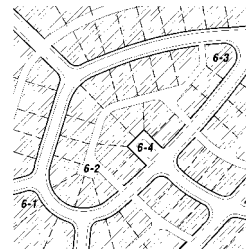
Advantages

- * Excellent directional orientation
- * Easily accommodates environmental interruptions.
- * Highly responsive to terrain.
- * Even dispersal of traffic through the network.

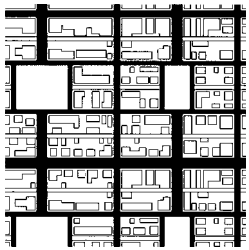
Disadvantages

- * Highly disorienting.
- * Uncontrollable variety of lots.
- * No intrinsic hierarchy.

CURVILINEAR BLOCK



GRID STREET NETWORK



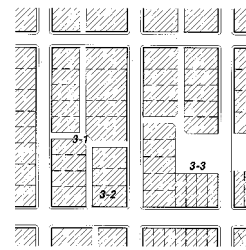
Advantages

- * Excellent directional orientation
- * Controllable Lot variety.
- * Street hierarchy with end grain for through traffic.
- * Even dispersal of traffic through the grid.
- * Straight lines enhance rolling terrain.
- * Efficient double-loading of alleys and utilities.

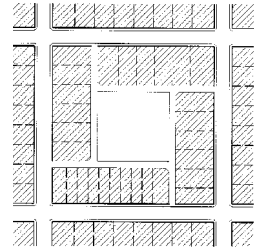
Disadvantages

- * Monotonous unless periodically interrupted.
- * Does not accommodate environmental interruptions well.
- * Unresponsive to steep terrain.

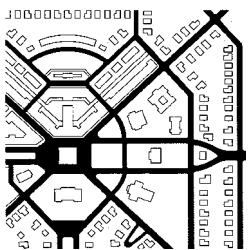
ELONGATED BLOCK (GRID)



SQUARE BLOCK (REGULAR LOTS)



SPIDERWEB STREET NETWORK



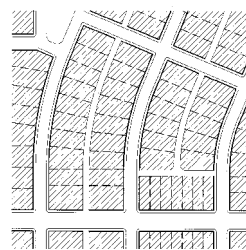
Advantages

- * Excellent directional orientation
- * Easily accommodates environmental interruptions.
- * Highly responsive to terrain.
- * Even dispersal of traffic through the network.

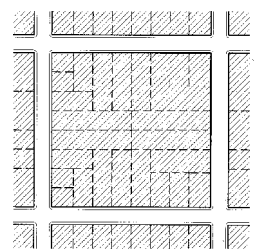
Disadvantages

- * Highly disorienting.
- * Uncontrollable variety of lots.
- * No intrinsic hierarchy.

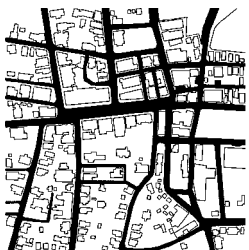
ELONGATED BLOCK (INFLECTED)



SQUARE BLOCK (IRREGULAR LOTS)



ORGANIC STREET NETWORK



Advantages

- * Street hierarchy with long routes for through traffic.
- * Even dispersal of traffic through the network.
- * Responsive to terrain.
- * Easily accommodates environmental interruptions.
- * Short streets, terminated and deflected vistas.
- * Able to follow traces on the land.

Disadvantages

- * Uncontrollable variety of blocks and lots.

IRREGULAR BLOCK



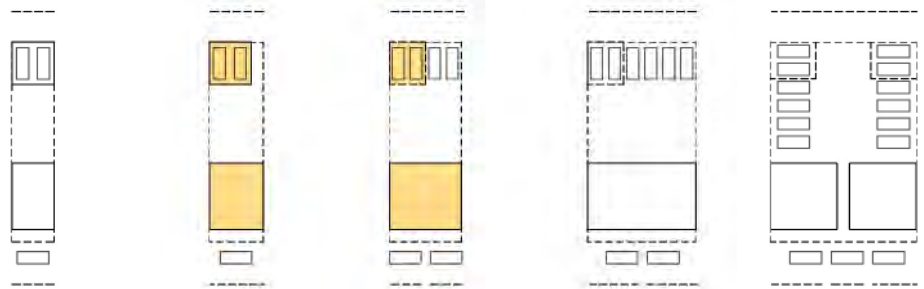
PRINCIPLE

Private buildings form a visual background for public spaces.

Within the network of streets and blocks, key sites for public and commercial buildings articulate the pattern of varied uses making up the neighborhood. Buildings such as libraries, places of worship, day care facilities, and recreation structures should occupy prominent places and be planned in coordination with public open places. Private uses, such as residences, are generally part of a continuous pattern of “background” buildings.

PLATTING:

The net density of a developed block is often a measure of the efficiency of the building types used. Density is often limited by parking as well. The basic increments of efficient two car parking are minimum 18' - 0" to maximum 24' - 0".

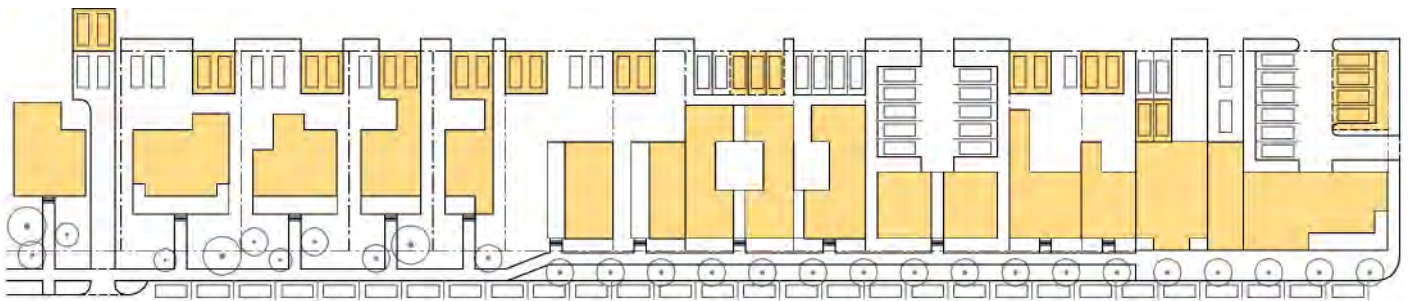


EXAMPLES:

Lot Width	18 Feet	24 Feet	36 Feet	54 Feet	72 Feet
Lot Depth	100 Feet	100 Feet	100 Feet	100 Feet	100 Feet
Lot Area	1800 sq.ft./	2400 sq.ft./	3600 sq.ft./	5400 sq.ft./	7200 sq.ft./
Residential (Maximum)	.04 ac	.06 ac	.08 ac	.12 ac	.165 ac
Commercial	2 units	2 units	3 units	4 units	7 units
Parking			1500 sq.ft.	2000 sq.ft.	3250 sq.ft.

◀ NEIGHBORHOOD EDGE

NEIGHBORHOOD CENTER ▶



NEIGHBORHOOD STRUCTURE:

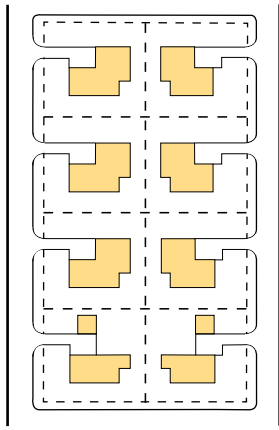
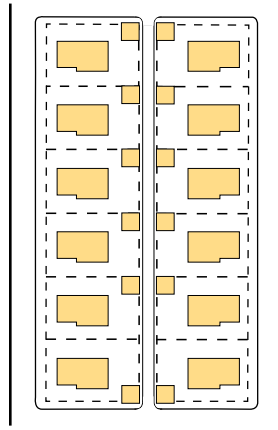
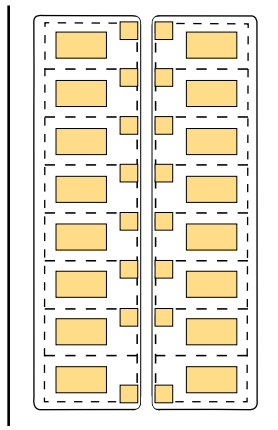
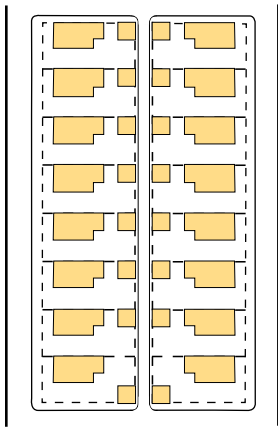
THE PLATTING SYSTEM COMBINED WITH A VARIETY OF BUILDING TYPES

Using a diagram, numerous building types are applied to the 18'-0" to 72'-0" platting increment. Rules for streetscape and Private Frontage are also demonstrated in the diagram in order to show combinations arising from the mandatory conditions of building setbacks, front door locations, front yard characteristics, and streetscape design.

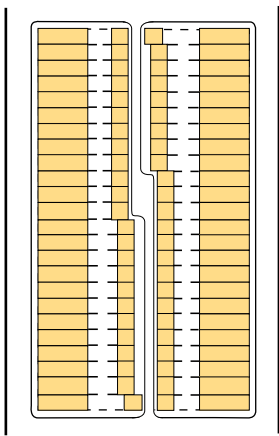
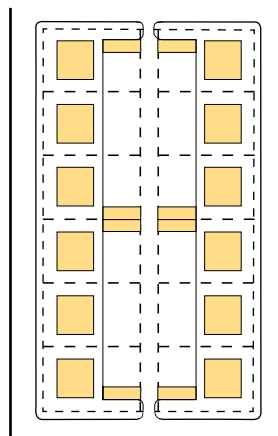
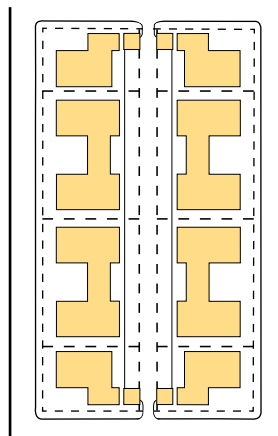
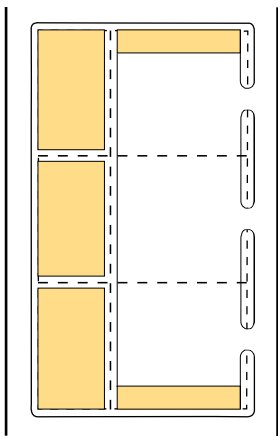
PRECEDENTS

Density is usually expressed in residential Units/Acre, although Floor Area Ratio (F.A.R.) and Equivalent Residential Units per Acre (E.R.U./Acre) are also used in Mixed-Use settings to employ a measurement combining residential and commercial uses. There is a systematic relationship between Net Density (indicated below) and lot sizes and building types, which supports proper Town-Making (as well as employing efficient platting within blocks).

RURAL

			
Edgeward	Edgeward	Edgeward	Sideyard
Large House	House/cottage	House/cottage	Single House
4 units/ac	6 units/ac	8 units/ac	8 units/ac
108 ft x 110 ft	72 ft x 100 ft	54 ft x 100 ft	54 ft x 100 ft

URBAN

			
Rearyard	Edgeward	Edgeward	Rearyard
Rowhouse	Stairhall block (stacked)	Courtyard block (stacked)	Office Building
24 units/ac	36 units/ac	36 units/ac	6,500 sq ft commercial
18 ft x 100 ft	72 ft x 100 ft	72 ft & 144 ft x 100 ft	72 ft & 144 ft x 220 ft

PRINCIPLE

Traditional precedents yield modest, subtle buildings.

Flexible use regulations combined with appropriate building types provide for a range of small scale retail and workplace needs that are not intrusive to residences - when situated at the ground floor with sidewalk access, or 'around the corner' from residences at the neighborhood center area. Rear 'outbuilding' residences on single family lots also provide high quality, well maintained housing for family and rental residents of limited income or special needs.



Small and moderate sized buildings can be arranged along a street front with considerable variety in height and width, so long as they are all the same (or complementary) building types. In this example, the buildings are rear yard (zero front and side setbacks), mixed use, pitched roof (with the eave and ridge parallel to the street), and designed with a shopfront/awning frontage type.



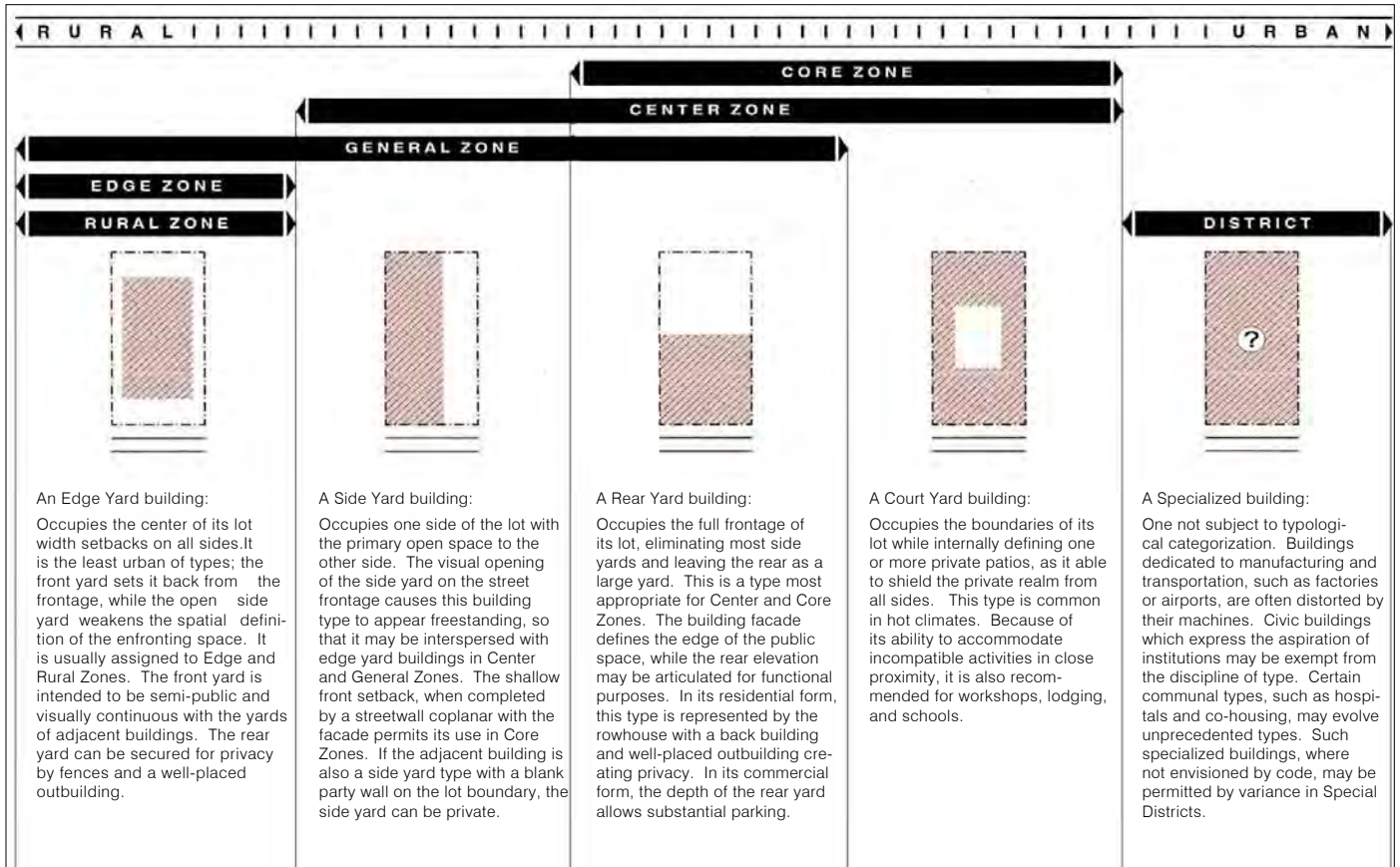
The same building type can be manipulated through adjustments to roof and cornice, fenestration and rhythm, color and material, height, and ground floor shopfront details.



Building types, when simple and subtle, achieve a satisfying variety while defining public spaces. In the example above, a town square is bounded by small streets and continuous street walls set along moderate width sidewalks.

PRECEDENTS

There are four Building Dispositions (suitable for use within the Neighborhood). Within a single use District, there are Specialized Types employed that are not beneficial to the Neighborhood. This Table defines the characteristics of the Four Dispositions (not counting Specialized Types) and the rules for their use.



An Edge Yard building:
Occupies the center of its lot with setbacks on all sides. It is the least urban of types; the front yard sets it back from the frontage, while the open side yard weakens the spatial definition of the enfronting space. It is usually assigned to Edge and Rural Zones. The front yard is intended to be semi-public and visually continuous with the yards of adjacent buildings. The rear yard can be secured for privacy by fences and a well-placed outbuilding.

A Side Yard building:
Occupies one side of the lot with the primary open space to the other side. The visual opening of the side yard on the street frontage causes this building type to appear freestanding, so that it may be interspersed with edge yard buildings in Center and General Zones. The shallow front setback, when completed by a streetwall coplanar with the facade permits its use in Core Zones. If the adjacent building is also a side yard type with a blank party wall on the lot boundary, the side yard can be private.

A Rear Yard building:
Occupies the full frontage of its lot, eliminating most side yards and leaving the rear as a large yard. This is a type most appropriate for Center and Core Zones. The building facade defines the edge of the public space, while the rear elevation may be articulated for functional purposes. In its residential form, this type is represented by the rowhouse with a back building and well-placed outbuilding creating privacy. In its commercial form, the depth of the rear yard allows substantial parking.

A Court Yard building:
Occupies the boundaries of its lot while internally defining one or more private patios, as it able to shield the private realm from all sides. This type is common in hot climates. Because of its ability to accommodate incompatible activities in close proximity, it is also recommended for workshops, lodging, and schools.

A Specialized building:
One not subject to typological categorization. Buildings dedicated to manufacturing and transportation, such as factories or airports, are often distorted by their machines. Civic buildings which express the aspiration of institutions may be exempt from the discipline of type. Certain communal types, such as hospitals and co-housing, may evolve unprecedented types. Such specialized buildings, where not envisioned by code, may be permitted by variance in Special Districts.

EDGE YARD	SIDE YARD	REAR YARD	COURT YARD	SPECIALIZED
PERMITTED USE: Nr, Ne, Nc	PERMITTED USE: Ne, Ng, Nc	PERMITTED USE: Ng, Nc, Tc	PERMITTED USE: Ne, Ng, Nc, Tc	PERMITTED USE: By Warrant
CONDITIONAL USE: (Nc)	CONDITIONAL USE: (Nr, Tc)	CONDITIONAL USE: (Nr, Ne)	CONDITIONAL USE: (Nr)	
SETBACKS: Front: 6' - 15' Side: 4' - 10' Rear: 8' - 25'	SETBACKS: Front: 0' - 6' Side: 0' - 4' Rear: 3' - 18'	SETBACKS: Front: 0' - 6' Side: 0' - 4' Rear: 3' - 15'	SETBACKS: Front: 0' - 6' Side: 0' - 3' Rear: 3' - 15'	
RELATED SPECIFIC TYPES: (See next Section C.2) Type 8: Detached House 9: Cottages / Bungalow	RELATED SPECIFIC TYPES: Type 2: Mixed Use Block 3: Commercial Block 7: Sideyard Residence 9: Cottage / Bungalow	RELATED SPECIFIC TYPES: Type 2: Mixed Use Block 3: Commercial Block 4: Stacked Residence 5: Attached Residence	RELATED SPECIFIC TYPES: Type 2: Mixed Use Block 3: Commercial Block 4: Stacked Residence 5: Attached Residence 7: Courtyard House	

PRINCIPLE

Buildings and front doors enfront public spaces and streets.

The frontage of a building is the space from the building facade to the front lot line. This frontage meets public areas and gives character to these spaces. The primary task of building design is the shaping of streets and public spaces as 'places of shared use'. The quality of these places influences social behavior and strengthens the community.



The variables of frontage are the dimensional depth of the front yard and the combination of architectural elements such as fences, stoops, porches, and colonnades.



The character of the ground floor commercial frontage in this mixed use center is determined by the continuous arcades running along both sides of a long square. The dimensions, form, and spacing of the arcade piers are quite consistent.



All buildings in neighborhoods - large or small, public or private - define public space at the front of their lots with elements of their frontage.



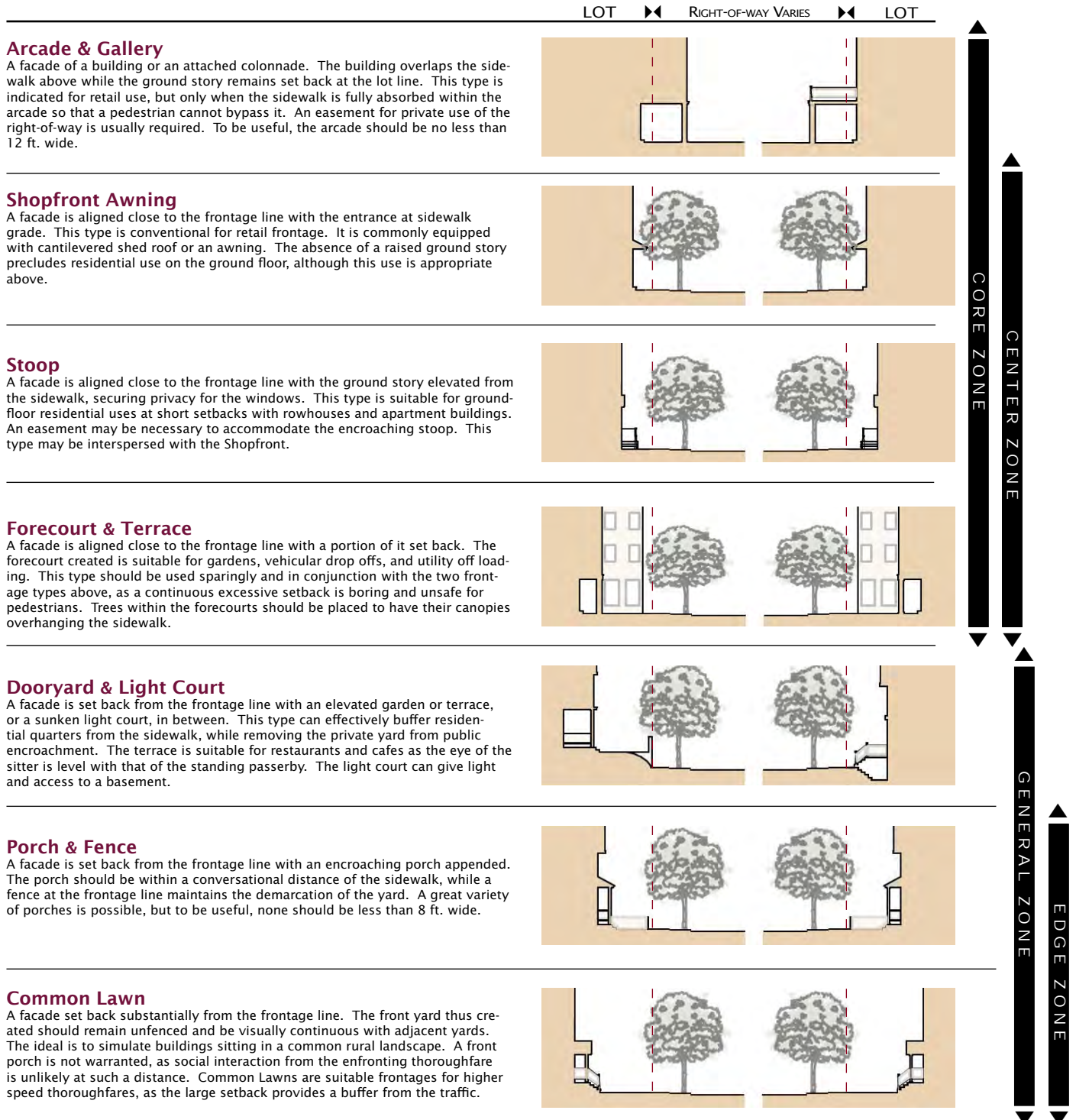
The combination of private frontage, the public streetscape, and the types of thoroughfare defines the identity of public domains. The particular elements and their assembly range in character from urban to rural.



The large green (of a college quadrangle) is framed on three sides by the careful alignment of diverse building types. The clarity of the space depends on their alignment.

PRECEDENTS

There are ten conditions of Building Frontage - the area of private ownership contained between the building's front wall and the front lot line. A combination of diverse elements constitutes this layer of "town form" between public space and the private realm of buildings, as identified in the following diagrams. Certain frontage types are more appropriate to central zones of the neighborhood and certain types are found primarily in edge zones.



CHAPTER III.

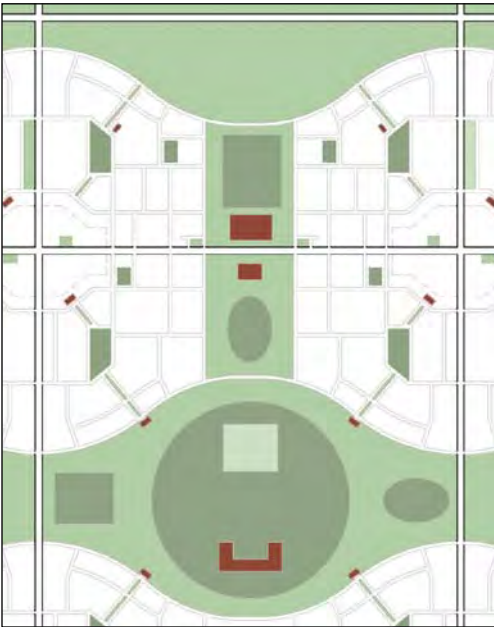
PUBLIC SPACES & STREETS: REGULATIONS FOR THE SCALE OF STREET & BLOCK

- A. OPEN SPACES
- B. CIRCULATION & INFRASTRUCTURE
- C. STREETScape & LANDSCAPE

PRINCIPLE

A Variety of open spaces serves the entire community.

Public spaces, natural and landscaped open areas as well as central squares of hard surface, are for the use and enjoyment of the entire community. Streets, sidewalks, and promenades connect to these spaces, so that open places become important and convenient destinations for commerce and gathering. An 'active plaza' or a 'quiet green' each have an importance for residents.



Four neighborhoods are shown with a variety of public spaces within and between their boundaries.



Three scales of public space are employed in a neighborhood: Recreation Scale (the largest), Neighborhood Scale, and Block Scale (the smallest).



A hierarchy of interconnected streets creates a complete neighborhood, comprising a range of street types that support varied traffic characteristics as well as non-vehicle movement, with short streets connecting to one another and framing public places.

PRECEDENTS

Public places must be tangible - well defined spatially and detailed thoroughly. Great care should be taken to make every element contribute to a clear experience. Public places shall not be allocated only to satisfy a quantity of space required by “open space percentage.” Successful public places have been established over a long history of use, with distinct cultural roots. They can be understood as “Types”, and articulated at different scales.



NEIGHBORHOOD SCALE

1 acre to 20 acres



BLOCK SCALE

1/4 acre to 1 1/2 acre
(10,000 sf - 60,000 sf)



LOT SCALE

1/16 acre to 1/2 acre
(2,000 sf - 20,000 sf)

- Sportsfield _____
- Green _____
- Square _____
- Plaza _____

Sportsfield: An open area specifically designed and equipped for large-scale structured recreation. Such fields should be confined to the edges of neighborhoods as their size is disruptive to the fine-grained network which is required for pedestrian travel. Modern schools have larger playing fields, they are thus located at the Neighborhood Edge Zones. Golf courses are also relegated to the edges, as the widespread practice of filtering greens through residential areas renders pedestrian connectivity difficult. Playgrounds and venues of more compact games (such as tennis) can be incorporated into greens and squares without disruption to the town fabric.

Green: A medium-sized public space available for unstructured recreation, circumscribed by building facades, its landscape consisting of grassy areas and trees, naturalistically disposed and requiring only limited maintenance.

Square: A public space, seldom larger than a block, at the intersection of streets. A square is circumscribed spatially by frontages; its streetscape consists of paved walks, lawns, trees, and civic buildings all formally disposed and requiring substantial maintenance.

Plaza: A public space at the intersection of streets set aside for civic purposes and commercial activities. A plaza is circumscribed by frontages; its landscape consists of durable pavement for parking and trees requiring little maintenance. All parking lots on frontages should be designed as plazas, with the paving neither marked nor detailed as parking lots.

- Close _____
- Common Garden _____
- Quadrangle _____
- Playground _____
- Attached Space _____

Close: A small green area surrounded by a driveway providing vehicular access to several buildings, performing the same function as a cul-de-sac but creating a socially useful space. The width of the close must correspond to the standard turning radius requirements. A close may be built to economical driveway standards.

Common Garden: An area attached to or surrounding a building, its landscape being a specialized cultivation, either ornamental or fruits and vegetables.

Quadrangle: A private open space entirely surrounded by multiple buildings with only minor openings to a thoroughfare, common in campuses.

Playground: A small open area specifically designed and equipped for the play of small children. A playground is usually fenced and may include an open shelter. Playgrounds should be interspersed within residential areas, a short walking distance from dwellings.

Attached Space: A minor scale space located directly adjacent to the side or front of lots, at the block edge. There is no separation between the space and the lots taken for vehicular separation.

- Kitchen Garden _____
- Terrace _____
- Court _____
- Yard _____

Kitchen Garden: A portion of a private yard for the small-scale cultivation of foodstuff (horticulture). Kitchen gardens are expected to be utilitarian in appearance and maintenance and, as such, restricted to the backyards. If dedicated to raising chickens or rabbits (viviculture), the kitchen garden should be walled. Permission for viviculture in an urbanized area should be by variance with the consent of neighbors.

Terrace: A level paved area accessible directly from a building as its extension. A terrace is smaller than a plaza and usually private. Terraces are not necessarily associated with an urban condition; they may occur in the countryside surrounding a neighborhood.

Court: A private exterior space partially surrounded by a building and also opening to a thoroughfare. It is often used as a vehicular entrance or drop-off, and its landscape may be paved.

Yard: A private area that adjoins or surrounds a building, its landscape subject to the landscape regulations.

PRINCIPLE

Attractive, intimate streets balance walking and driving needs.

Streets and walkways are planned and detailed as carefully as are buildings or key public places. Any neighborhood is made up of a variety of street types - conceived for their character as much as their capacity. Streets form the public edges of all blocks and virtually all lots, and they become 'outdoor rooms' which contribute tangibly to the qualities of the neighborhood.

Highway: A long-distance, speed-movement thoroughfare traversing open countryside. A highway should be relatively free of intersections, driveways, and adjacent buildings, otherwise it becomes strip development.



Boulevard: A moderate distance, free movement thoroughfare traversing an urbanized area. A boulevard is flanked by one way side lanes, parking, sidewalks, and planters buffering the buildings along the sides.

Drive: A thoroughfare along the boundary between a developed and a natural condition; usually a waterfront, a park, or a promontory. One side of a drive has the urban character of a street or boulevard, with sidewalk and buildings, while the other has the qualities of a road or parkway, with naturalistic planting and rural detailing.



Avenue: A limited distance, free-movement thoroughfare connecting civic locations within the neighborhood. Unlike a boulevard, its length is finite and its axis is terminated. An avenue may be conceived as an elongated square.

Road: A local, slow-movement thoroughfare suitable for Edge and Rural Zones, with frontage for low-density buildings such as houses. A road tends to be rural in character without curbs or striped on-street parking; it may have clustered plantings and paths instead of sidewalks. The degree of rural character of a road may be adjusted by such elements.



Street: A local, slow-movement thoroughfare suitable for General, Center, and Core Zones. Streets provide frontage for higher-density buildings such as offices, shops, and rowhouses. A street is urban in character with raised curbs, closed drainage, wide sidewalks, parallel parking, and trees in individual planting areas. Character may vary, responding to enfronting commercial or residential uses.

Rear Lane: A vehicular access way located to the rear of a lot providing access to parking and outbuildings as well as easements for utilities. Rear lanes are paved with asphalt - lightly as possible - or with gravel. Rear lanes should be as rural as possible in character.

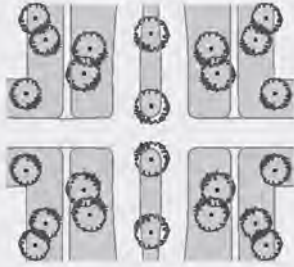


Alley: A narrow service access to the rear of more urban buildings providing service areas, parking access, and utility easements. Alleys, when used by trucks and accommodating dumpsters, should be paved from building face to building face, with drainage by inverted crown at the center.

PRECEDENTS

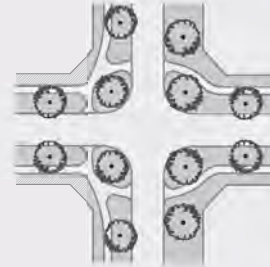
RURAL

Parkway



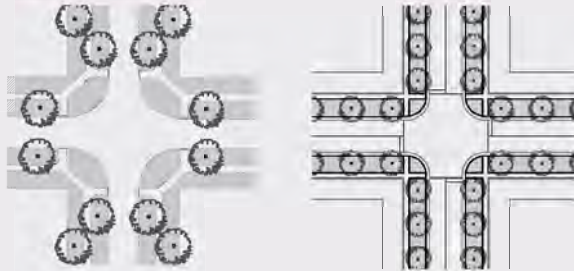
This type is very rural. A parkway is a sort of linear park. The thoroughfare is integrated to naturalistic landscaping, with a wide and varying median. There are no curbs, and drainage is by open swales. Bicycle and pedestrian paths may wind through the landscape independently.

Rural Road



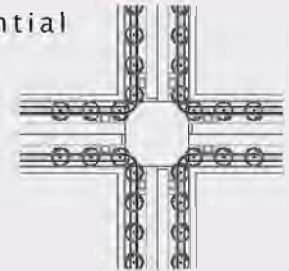
This type is rural, used only for the neighborhood edges. Since the frontage usually includes a substantial setback, the tree canopy may be quite wide. The rural aspect may be supported by the provision of naturalistic planting of many species in coherent clusters. Sidewalks may be asphalt like the roads or compacted gravel. Roads are detailed with open swales and drainage is by percolation where possible.

Residential Road



This type is generally employed outside of neighborhood centers and cores. Since the frontage usually includes a moderate setback, the tree canopy may be wide. A rural aspect may be supported by the provision of several species in imperfect alignment. Sidewalks may meander and be to one side of the road only. Road edges are detailed with open swales or low, canted curbs.

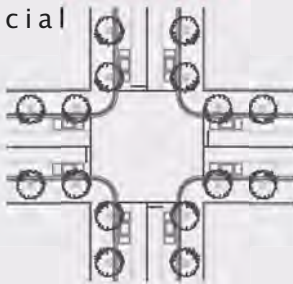
Residential Street



This more urban type is appropriate for residential buildings at neighborhood general areas. Trees are in continuous planting strips. The sidewalk does not need to accommodate the constant crossing of a commercial street. A single species of tree is planted in steady alignment.

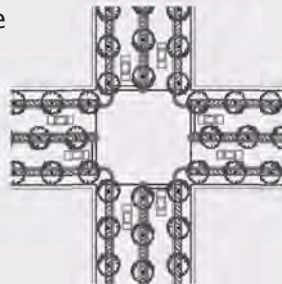
URBAN

Commercial Drive



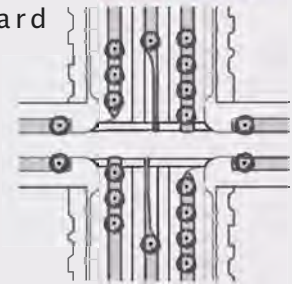
This type is dimensionally interchangeable with the commercial street type, and may alternate in correspondance to the enfronting building. Streets are detailed with raised curbs and closed storm drainage. Street trees are located in grated planters within the hard surface sidewalk.

Avenue



Avenues are appropriate as an axis to civic buildings at their terminus. In more urban areas, the general principle is that of an elongated plaza. At cores the median may be wide enough to hold monuments. In general residential areas, the median may be planted naturalistically to become a sort of linear park.

Boulevard



Boulevards are the transformation of high volume roads upon entering an urbanized area. They are appropriate for speed movement thoroughfares at neighborhood edges and within the neighborhood fabric. The effect of the side medians is to separate the slower traffic and parking activity at the edges from the through traffic on the center lanes.

PRINCIPLE

Control impacts of vehicles by locating them inside the block.

The techniques of providing for parking, deliveries, and collection in traditional town patterns are different from conventional suburban patterns. Off-street parking is masked behind buildings or street-front walls (to enhance the pedestrian experience). On-street parking is purposefully designed as part of an entire ensemble of thoroughfare and streetscape, balancing vehicle and foot requirements.

TRADITIONAL TOWN CONDITION



Interior-of-Block parking, often shared by both residential and commercial uses, may be built as structured parking or (for the short term) surface parking.

CONVENTIONAL CONDITION



Parking lots at the front of commercial buildings in single use Districts create the typical sea of asphalt, compromising any pedestrian motivation to walk from building to building.

VISIBILITY THROUGH STREET WALL

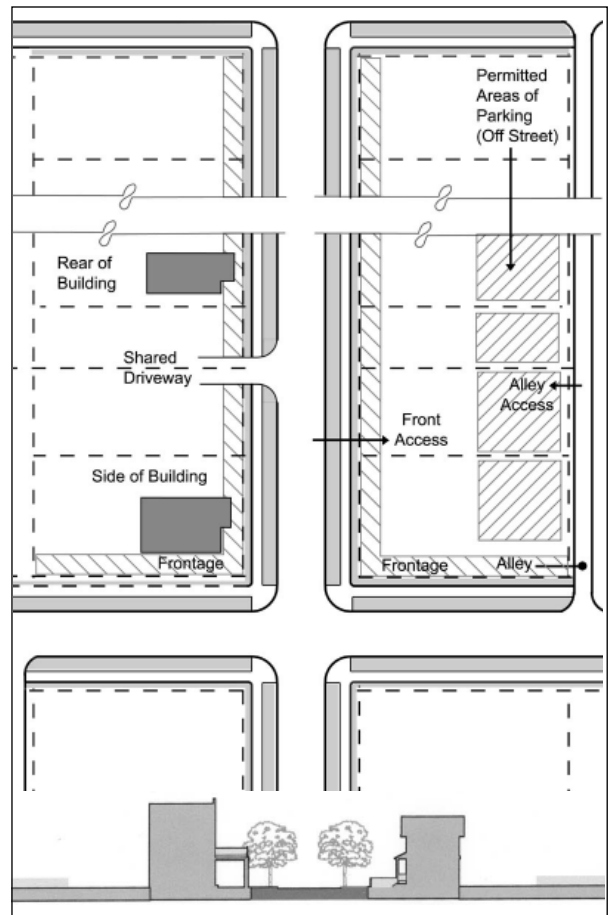


Visibility should be available, but controlled, from street frontage to Interior-of-Block parking. Space between buildings along the street front should never get wider than shown above.

SMALL INTERIOR LOTS



LOT PATTERNS



PRECEDENTS

Established techniques locate parking in acceptable configurations (on-street and off-street) and ensure the quality of street space, building frontages, streetscape, and pedestrian amenity.

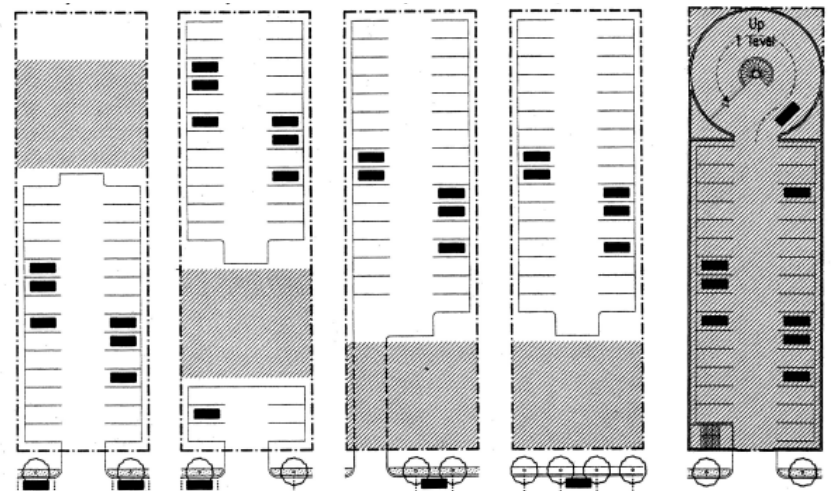
PARKING EDGE CONDITIONS



SERVICE ACCESS



STRUCTURED PARKING



Convenience Parking (Prohibited)

Teaser Parking (Restricted)

Side of Lot (Allowed)

Rear Lot (Recommended)

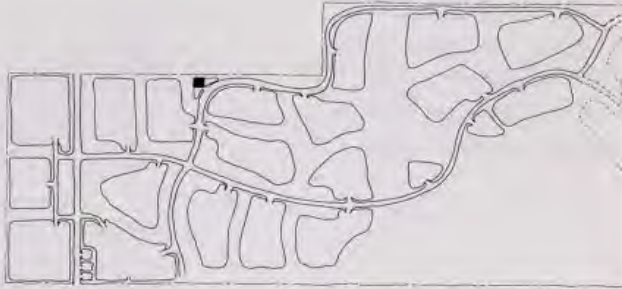
Single Aisle (Lot Width: 72 ft)

PRINCIPLE

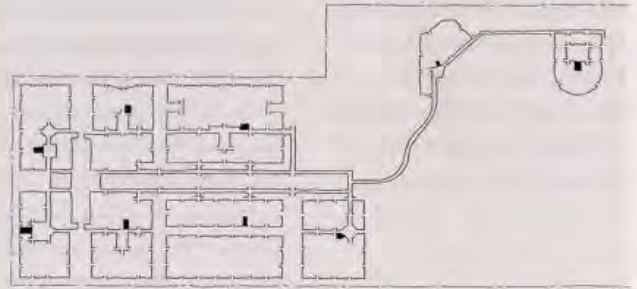
Pedestrian comfort derives from streetscape amenity.

Streets are for both people and cars. Neighborhood streets are public places, meant to comfortably support all forms of transportation, including pedestrians and bicyclists, enhancing mobility for the very young and very old. Streetscapes derive their public character when all lots within every block 'front' onto their street. Consequently, on each lot, a building presents its front door to the street.

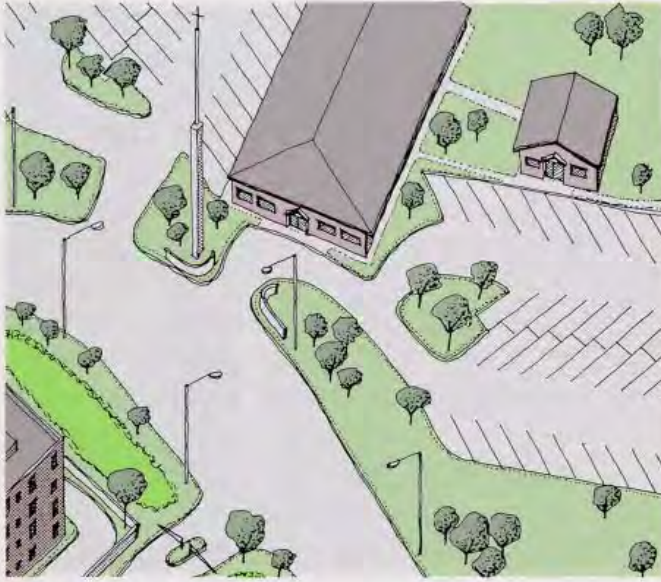
CONVENTIONAL SUBURBAN PATTERN



TRADITIONAL NEIGHBORHOOD PATTERN



CONVENTIONAL STREETScape



TRADITIONAL STREETScape



A hierarchy of interconnected streets creates a complete neighborhood. A range of street types supports varied traffic characteristics as well as non-vehicle movement, with streets connecting to one another.



A computer simulation (before-and-after) demonstrates the benefits of streetscapes that enhance both vehicle and pedestrian movement: Spatial definition and shade from street trees, proper detailing and dimensions for widened sidewalks, and elements of convenience and comfort from street furnishings.

PRECEDENTS

STREETSCAPE EXAMPLES

For purpose of classification, streetscape designations for public thoroughfares are organized by Neighborhood Zone: Nr (Type S.1), Ne Rear lanes and alleys are not defined in this diagram (Type S.2), Nc (Type S.3), Nc/Nc (Type S.4), Nc Type S.5), Tc (Type S.6), and General Conditions (Type S.7), not shown here.

NR ZONE

STREETSCAPE EXAMPLE (S.1a)

Sidewalk	4' - 5' One Side
Parkstrip	8' - 20'
Tree Species	Alternating (Canopy)
Tree Pattern	Clustered > 6' from St.
Groundcover	Grass or Cobble
Curb Type	Swale
Curb Radius	14' - 20'
Drainage	Percolation

Small Rural Road SR.45.20

STREETSCAPE EXAMPLE (S.1b)

Sidewalk	4' - 6' Both Sides
Parkstrip	7' - 20'
Tree Species	Alternating (Canopy)
Tree Pattern	Regular >5' from St.
Groundcover	Grass or Cobble
Curb Type	Swale
Curb Radius	14' - 20'
Drainage	Percolation

Local Rural Road LR. 49.22

NE ZONE

(S.2a)

Sidewalk	4' - 5' Both Sides
Parkstrip	7' - 15'
Tree Species	Single (Canopy)
Tree Pattern	Regular < 6' from St.
Groundcover	Grass or Vines
Curb Type	Roll Curb
Curb Radius	12' - 18'
Drainage	Inlet & Pipe

Small Road SR.45.20

(S.2b)

Sidewalk	4' - 6' Both Sides
Parkstrip	7' - 15'
Tree Species	Single (Canopy)
Tree Pattern	Regular < 6' from St.
Groundcover	Grass or Vines
Curb Type	Canted
Curb Radius	12' - 18'
Drainage	Inlet & Pipe

Local Neighborhood Rd. LR.49.22

NG ZONE

(S.3a)

Sidewalk	4' - 7' Both Sides
Parkstrip	6' - 10'
Tree Species	Single (Canopy)
Tree Pattern	Regular < 5' from St.
Groundcover	Grass or Cobble
Curb Type	Canted
Curb Radius	10' - 18'
Drainage	Inlet & Pipe

Small Street SS.50.25

(S.3b)

Sidewalk	5' - 7' Both Sides
Parkstrip	6' - 9'
Tree Species	Single (Canopy)
Tree Pattern	Regular < 5' from St.
Groundcover	Grass or Cobble
Curb Type	Canted
Curb Radius	10' - 16'
Drainage	Inlet & Pipe

Local Rural Road LR.49.22

NG OR Nc ZONE

(S.4a)

Sidewalk	6' - 8' Both Sides
Parkstrip	4' - 6'
Tree Species	Alternating (Canopy)
Tree Pattern	Regular < 4' from St.
Groundcover	Grass or Vines
Curb Type	High Back
Curb Radius	8' - 18'
Drainage	Inlet & Pipe

Local Street LS.56.27

(S.4b)

Sidewalk	7' - 9' Both Sides
Parkstrip	4' - 5'
Tree Species	Alternating (Canopy)
Tree Pattern	Regular < 4' from St.
Groundcover	Grass or Vines
Curb Type	High Back
Curb Radius	10' - 16'
Drainage	Inlet & Pipe

Residential Avenue AV.77.17

Nc ZONE

(S.5a)

Sidewalk	8' - 14' Both Sides
Hardscape	Tree Grates
Tree Species	Single (Canopy)
Tree Pattern	Regular < 3' from St.
Groundcover	N.A.
Curb Type	High Back
Curb Radius	8' - 16'
Drainage	Inlet & Pipe

Center Street LS.56.27

(S.5b)

Sidewalk	8' - 12' Both Sides
Hardscape	Tree Grates
Tree Species	Single (Canopy)
Tree Pattern	Regular < 3' from St.
Groundcover	N.A.
Curb Type	High Back
Curb Radius	8' - 14'
Drainage	Inlet & Pipe

Local Boulevard BV.107.22

Tc ZONE

(S.6a)

Sidewalk	10' - 15' Both Sides
Hardscape	Tree Grates
Tree Species	Single (Canopy)
Tree Pattern	Regular < 3' from St.
Groundcover	N.A.
Curb Type	High Back
Curb Radius	8' - 12'
Drainage	Inlet & Pipe

Main Street CS.64.29

(S.6b)

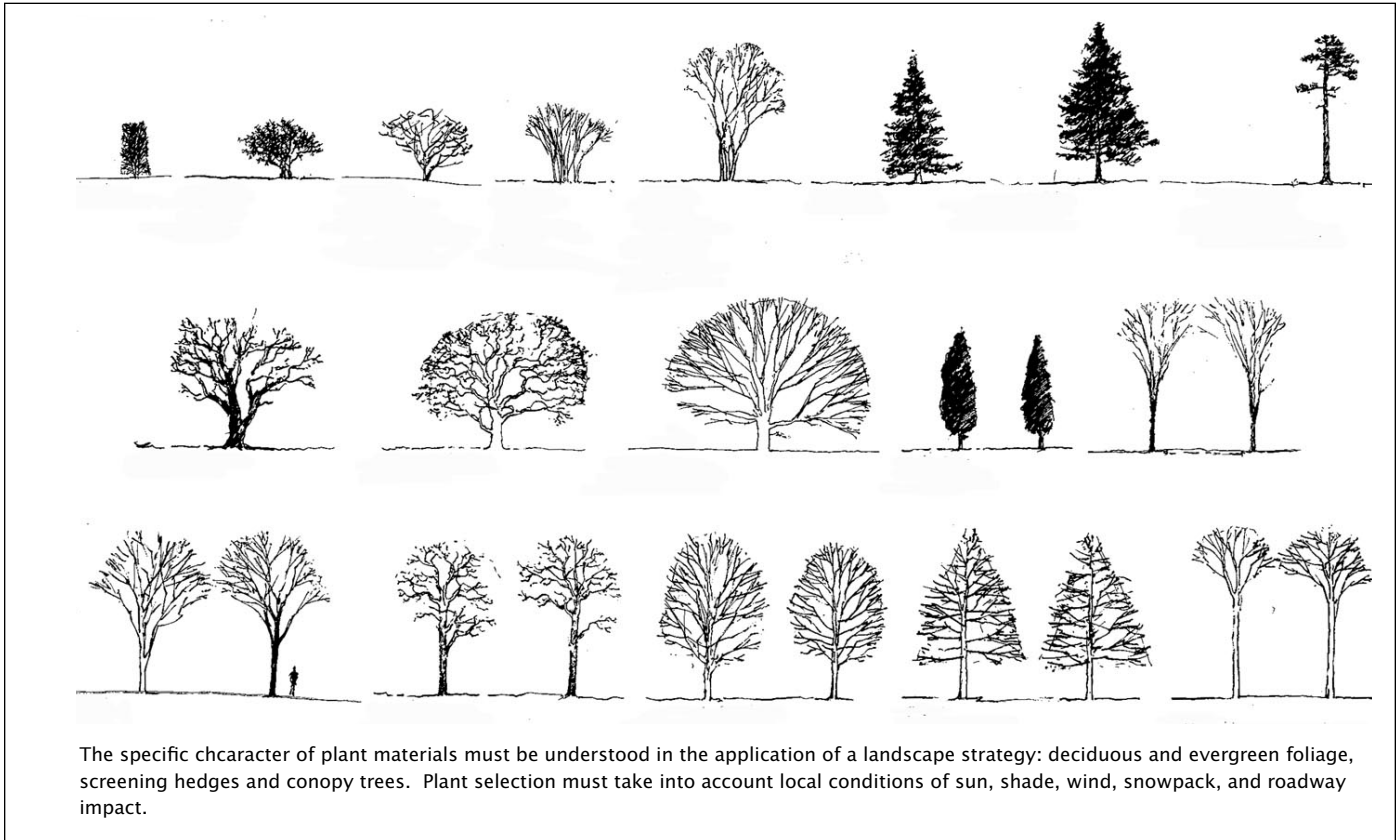
Sidewalk	10' - 15' Both Sides
Hardscape	Tree Grates
Tree Species	Single (Canopy)
Tree Pattern	Regular < 3' from St.
Groundcover	N.A.
Curb Type	High Back
Curb Radius	8' - 12'
Drainage	Inlet & Pipe

Town Street CS.64.29

PRINCIPLE

Clarify the edge of spaces, enrich the character of spaces.

Landscape elements of the neighborhood are integral to the attributes of the public spaces. They are not ornamental as in conventional suburban spaces. Landscaping for streetscapes and public places acts primarily to define clear spaces, filling gaps occasioned by discontinuity in building frontage or correcting excessively wide street spaces (with columns of tree trunks and canopies of branches).



In arid climates, palm trees define spaces by the alignment of their trunks, rather than by their branch canopy.



In a Santa Fe park, the naturalistic arrangement of deciduous and evergreen trees are brought alongside the linear edge of a street.

PRECEDENTS

NEIGHBORHOOD ZONES

NEIGHBORHOOD
EDGE & RURAL (Ne & Nr)

NEIGHBORHOOD
GENERAL (Ng)

NEIGHBORHOOD
CENTER (Nc)

TOWN
CORE (Tc)

SEATING



WALKWAYS



PAVILIONS



WATER



GARDEN WALLS

