
CHAPTER IV.

ARCHITECTURE: REGULATIONS FOR THE SCALE OF BUILDING & LOT

A. DESIGN CHARACTER

- BUILDING CRAFT & QUALITY
- SIGNAGE & LIGHTING

B. DESIGN VOCABULARY

- ARCHITECTURAL PATTERN
 - LOCAL & REGIONAL HERITAGE
-

PRINCIPLE

Neighboring buildings use a common language of town making.

Design and detailing of buildings enhance the community when complementary to the town making - creating a pedestrian friendly atmosphere of beautiful streets, memorable public places, distinctive building types, and unique front yards. No structure calls too much attention to itself unless it has a civic use. When each building plays by the right rules, its individuality is balanced by the harmonious ensemble of surrounding buildings, and yields a coherent identity of a place.

DETACHED DWELLING EXAMPLES



COTTAGE: NESTED GABLE / INCISED PORCH



HOUSE: GABLE ELL / INCISED PORCH



COTTAGE: SQUARE GABLE / PROJECTING PORCH



COTTAGE: NARROW GABLE / PROJECTING PORCH



HOUSE: BROAD EAVE / ENTRY PORCH



HOUSE: NARROW GABLE / PROJECTING PORCH



HOUSE: BROAD EAVE / ENTRY PORCH



HOUSE: NARROW GABLE / PORCH



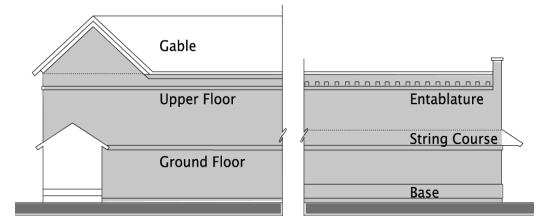
COTTAGE: BROAD EAVE / SHED DORMER

DIAGRAM A

MASTER LIST FOR MATERIALS

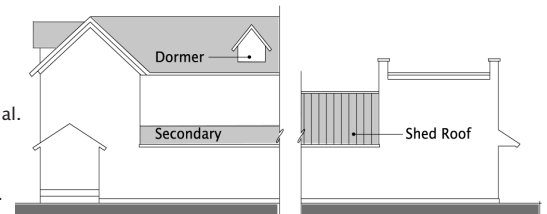
WALLS

- BRICK:** Adobe: larger mortar joints. Waterstruck Brick: LRV < 25, small mortar joints.
- STONE:** Rectilinear / high quality. LRV < 35. Range of glazed-to-unglazed: conditional.
- TILE:** Rectilinear / high quality. LRV < 35. Range of glazed-to-unglazed: conditional.
- WOOD:** Shingle, clapboard, board & batt. Range of paint-to-stain: Conditional.
- CEMENTITIOUS / BOARD:** Shingle, clapboard, board & batt / high quality. Cover <60% building wall area.
- STUCCO:** Rough texture recommended at ground floor. Smooth texture: Conditional.



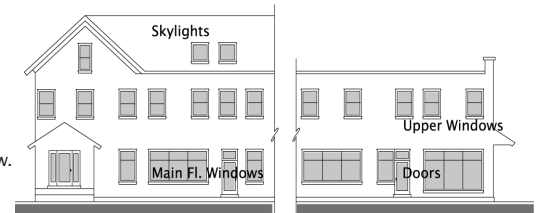
ROOFS

- SLOPED / SHINGLES:** Slate, synthetic, fiberglass asphalt / high quality. LRV < 25. Color: Conditional.
- SLOPED / TILE:** Flat profile required. Barrel tile prohibited. LRV < 25.
- SLOPED / METAL:** Standing seam or corrugated / high quality. Variety of metals, colors. LRV < 25.
- PARAPET & CORNICE:** Wall material carried to details. Strong shadow line. Applied molding: Conditional.
- SOFFITS & ENTABLATURE:** Wood, composite boards. Vinyl, aluminum: conditional. Well detailed
- RAKES & EAVES:** Wood, composite boards. Joinery well executed. Details more formal at Center zone.



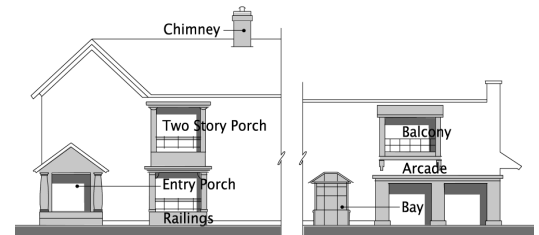
OPENINGS

- DOORS:** Wood, steel, wood veneer; hinged. Sliders prohibited if visible when faced from public way.
- WINDOWS:** Exterior finish: Wood, metal, clad. Vinyl: Conditional. Vertical proportions.
- SHUTTERS:** Wood, solid composite, metal. Style more formal at Center zones.
- TRIM, HEADER & SILL:** Detail to produce strong shadow lines; appearance conditional to style.
- GLASS & MULLION:** Clear glass. Mullion varied material, pattern, scale – panes proportional to window.
- SKYLIGHTS:** Flat profile on roof, dark frame color. Glazing: glass, transparent synthetic.



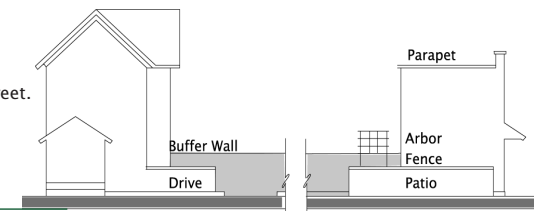
ELEMENTS

- RAILINGS & BALUSTRADES:** Steel, iron, wood. Synthetic conditional. Finishes, color conditional.
- COLUMNS, PIERS & POSTS:** Stone, masonry, stucco for broader sizes. Wood or composite for smaller.
- CHIMNEYS:** Stone, masonry, stucco, tile. Wood prohibited. Caps and flues well detailed.
- BAYS & BALCONIES:** When cantilevered >24", structure to be expressed. Underside well detailed.
- PORCHES (FRONT & SIDE):** Well constructed; joinery carefully executed. Details conditional to style.
- STOOPS:** Stone, masonry, tile, stucco - Center zones. Wood permitted General / Edge zones.



YARDS

- FENCES:** Metal at Center zones. Wood, high quality composite permitted at Edge zones.
- STREET WALLS:** Stone, masonry, stucco - Center/ General zones. Open walls permitted - Edge zones.
- WALKS & STEPS:** Stone, slate, masonry, tile. Colored concrete permitted for walks.
- DRIVEWAYS & PARKING:** Masonry paver, and colored concrete pref. Asphalt conditional if visible at street.
- PERGOLAS & ARBORS:** Wood, Steel, Solid composite. Vinyl: Conditional. Substantial dimensions.
- PATIOS & TERRACE:** Stone, masonry pavers. Colored concrete permitted if not visible from street.



STOREFRONTS

- SHOP WINDOWS & FRAME:** Windows clear glass. Frame wood or aluminum, detail with strong base.
- GRILLS & SCREENS:** Security screens open lattice, recessed. Roll box hidden. Design: Conditional.
- ENTRY DOORS:** Clear glass within door >50% door area. Wood or painted aluminum, hinged type.
- DISPLAY LIGHTING:** Full spectrum / white (halogen) lighting. Neon less than 2.5 s.f. in area.
- EXTERNAL LIGHTING:** Full spectrum and white (halogen) lighting. Low pressure sodium prohibited.
- AWNINGS:** Cloth, canvas, synthetic canvas on frames. Rectilinear (not curved) profile.

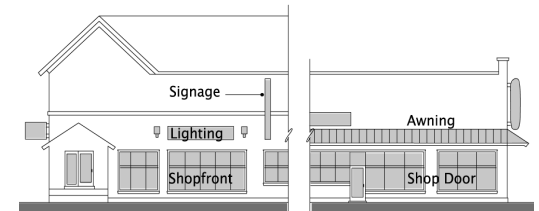


DIAGRAM B

ORGANIZATION OF STANDARDS

The text describes standards and recommendations for a diverse array of building conditions and design orientation. The appropriateness and quality of buildings is not an issue of style. By organizing the standards for quality according to the following six attributes, it is intended that the quality of architecture can be understood in terms of “tectonics”: Material, Configuration, and Technique. The matter of appropriate building styles is addressed in a following Section B.1. Architectural Pattern.

- A. MATERIAL: The specific selections of building components.
- B. CONFIGURATION: The shape and location of building elements.
- C. TECHNIQUE: Detail, color, relationships between elements, scale, and connections of one piece to another.

Many details make up architectural quality. To avoid disagreements based on personal taste, and to provide the most information for assessing a project, the Standards are organized according to the following six areas (Attributes) to provide a basis by which to discuss subjective judgements of Material, Configuration, and Technique for each element.

I. WALLS

- Foundation Walls
- Ground Floor Walls
- Upper Floor Walls
- Retaining Walls
- Metal Walls
- Wood / Hardboard Walls
- Vinyl Walls
- Stucco / Plaster Walls
- Masonry / Stone Walls
- Gable Ends
- Trim / Accent Lines

III. OPENINGS

- Entry Doors
- Service Doors
- Garage Doors
- Storm / Screen Doors
- Windows
- Bay Windows
- Shutters
- Glass
- Mullions
- Trim & Casings
- Security Devices

V. YARDS

- Patios / Courtyards
- Street Walls
- Fences
- Walks & Steps
- Hedges
- Groundcover
- Ground Plane
- Driveways & Parking
- Assessorly Structures
- Open Space Boundary

II. ROOFS

- Principle Roofs
- Secondary Roofs
- Dormers
- Eaves / Rakes
- Gutters / Downspouts
- Soffits
- Cornices / Parapets
- Skylights
- Accessory Elements
- Mechanical Equipment

IV. ELEMENTS

- Porches
- Stoops / Steps
- Piers / Posts
- Arcades / Galleries
- Decks & Stairs
- Balconies / Overhangs
- Railings
- Chimneys
- Towers
- Awnings
- Arbors / Pergolas

VI. STOREFRONTS

- Shop Windows
- Entry Doors
- Grilles & Screens
- Main Elements
- Signs
- Display Lighting
- External Lighting
- Outside Elements
- Wall / Plinth Base

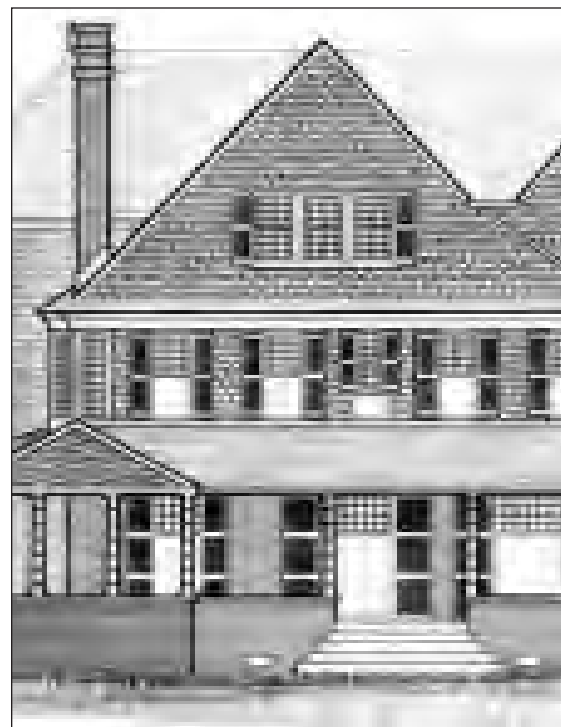
I. WALLS

MATERIAL	CONFIGURATION	TECHNIQUE
<p>FOUNDATION WALLS: Shall be poured concrete, concrete block (finished in stucco), or brick.</p>	<p>Front facades shall not have foundation walls exposed > 24" max. from grade (and side/rear facades > 36" max.) unless constructed of stone.</p>	
<p>GROUND FLOOR WALLS: The material change from a higher quality (the street facade) to a lesser quality shall only occur on side walls at the rear corner of the house, or at another wall corner or large building element >15' - 0" of the front.</p>	<p>Walls are limited to two materials (additional material by Conditional Approval). Any material change <u>must</u> be located at a horizontal line. Change in material quality or type may only occur vertically if bordered by an opening or large building element.</p>	<p>The horizontal line of a material change shall be carefully detailed, with additional lines of material elements for 'relief', and thus produce a strong shadow line.</p>
<p>UPPER FLOOR WALLS: Generally, when two materials are used on building walls, the material with 'visually lighter' characteristics shall be set above the other.</p>	<p>Maximum 6" course interval of horizontal siding, when the upper floor material is designed to be distinct from the ground floor.</p>	<p>Wall colors must be selected within a harmonious range of color established in the neighborhood.</p>
<p>RETAINING WALLS: Shall be stone, stucco, concrete or brick.</p>	<p>Shall be between 1' - 6" and 4' - 6" heights whenever used, and subject to any Frontage requirements (as defined in Section VI.C.3 Buildings & Frontages).</p>	<p>Several buildings located on a site with sloping grade must strongly define the edge of the street front with an amount of attached retaining wall or solid fence for the majority of the frontage dimension.</p>
<p>LOG WALLS: May be completely peeled, partially peeled, or retain the tree bark. Shall be high quality wood, not deteriorating or damaged. Allowed in Tc/Nc zones only by exception.</p>	<p>Shall be carefully detailed, with high quality joinery and chinking.</p>	<p>Shall not be employed in Tc or Nc zones, without written approval as an Exception for superior design and detailing, as this material is too rustic for central locations.</p>
<p>WOOD/HARDBOARD WALLS: Plywood and particle board are prohibited. Fiber cement siding (hardiplank or cemiplank) are acceptable, but shall not be employed over more than 60% of the building's wall area.</p>	<p>Wood and fiber cement shingles/clapboards shall be installed only in horizontal alignment, with a maximum 5" course interval for at least 40% of any wall areas of this material.</p>	<p>Wood shingles may be left natural, clear 'preserved', stained, or painted. Fiber cement or wood horizontal siding shall be painted or stained with opaque brands. Board and batten wood shall be vertical.</p>
<p>VINYL WALLS: Prohibited</p>		
<p>STUCCO/PLASTER WALLS: Shall be comprised of high quality material (from currently available products).</p>	<p>Reveals and expansion joints shall be carefully located within the wall composition. All details shall be of the highest quality - not crude or quickly executed.</p>	<p>Shall be sand finished or steel troweled. Stucco treatments around openings shall protrude no more than 1/2 inch from the finished wall face.</p>
<p>MASONRY/ANGULAR STONE WALLS: Local stone ranging in color (buff, buff - red, brown, gray - brown) of rough and "squared" form. Masonry or stone wall area visible from a street or any public area shall be >25% of wall area (generally) and >33% wall area for single family dwellings. (in Tc,Nc).</p>	<p>Laid up with an uncoursed ledge-rock pattern, with horizontal orientation of stones. Arches shall be greater than 10" in wall thickness.</p>	<p>Shall not appear to be thin veneer facing (even when actually so) - therefore minimum stone thickness as veneer shall be 4" or thicker, increasing in dimension at bottom of wall.</p>
<p>ROUND STONE WALLS: River rock and round rock shall be used with the greatest care (to avoid inappropriate appearance). If used, shall also be required to cover >25% of wall areas (generally) and >33% wall area for single family dwellings (in Tc, Nc).</p>	<p>The variety of size of the round stone shall be extreme (approx. 15% of stones 1/4 the size of the average stone), in order to avoid too regular a pattern of round shapes - which looks artificial and alien to the rustic character of quality round stone walls.</p>	<p>There shall not be > 15% mortar visible (a dry stack appearance) in order to avoid the 'popcorn' appearance of round shapes in a field of mortar. Sealers for stone (angular or round) shall be flat or matte finish - never shiny.</p>
<p>TRIM/ACCENT LINES: Shall be constructed of materials complementary to the wall material, and avoid bright or jarring colors.</p>	<p>Shall not exceed 6" in width at corners, nor 4" in width around openings, except at front entry doors.</p>	<p>Shall be required where there is a change of material or change in in plane. Trim shall be of one color per building.</p>
<p>GABLE ENDS: The triangle top of gabled end walls may be fiber cement siding, shingles, synthetic stucco, and wood siding - and be of different material than the wall below it.</p>	<p>Gable trim (at the joint of the wall to the rake soffit) shall be a minimum of 7 1/2" in width. Additional detail is strongly recommended.</p>	<p>A special, distinctive variation of the gable end material is acceptable within the triangular shape of the gable.</p>

ILLUSTRATIONS



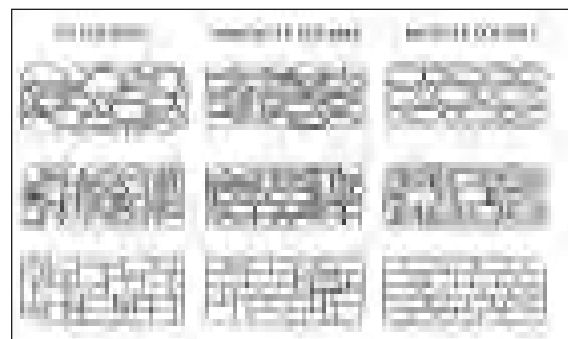
Stylistic variation brings a pleasing and important harmony to the street wall and the particular neighborhood setting. Underlying the differences in style, however, are common conditions of building type, visual patterns, and exterior material.



Wall materials may change between floors, and between elements of a building, when following established aesthetic rules: For instance, attending to the relationships of "base, middle, and top."



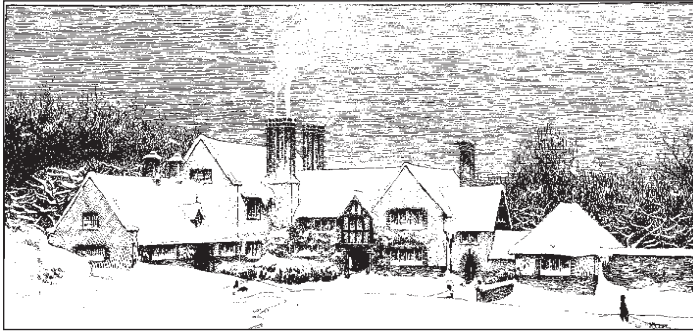
The Architectural Regulations establish some fundamental unities of design within which many personal tastes may be expressed. Wall patterns and shapes may be manipulated by using simple elements. The consistency of elements (window proportion, roof slope, porch) ensures a harmony of the streetscape.



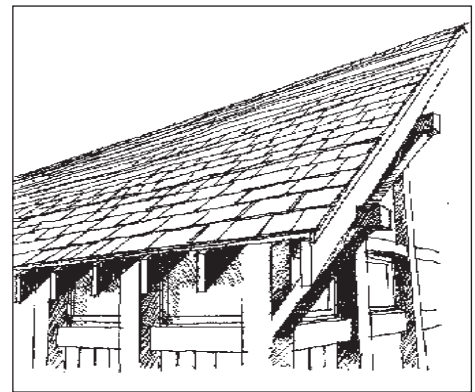
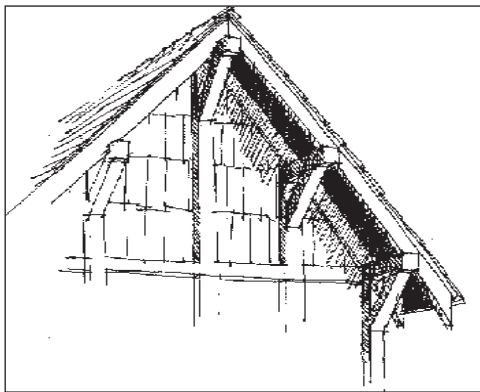
The patterns of stone work may follow certain rules for the selected stone type; uncut, rough cut, or square cut stone may be laid up with regular, irregular, or no definite pattern of horizontal course work. A variety of mortar techniques may also be employed.

MATERIAL	CONFIGURATION	TECHNIQUE
PRINCIPLE ROOFS:		
<p>Shall be wood shingles, slate, synthetic slate, premium grade composition (asphalt and fiberglass) shingles, or tile. Shall be high quality metal; anodized, galvanized metal standing seam, or corrugated (provided they do not produce glare). Note: 'Premium Grade Composition' is also known as architectural shingles, which are provided in both asphalt and fiberglass.</p>	<p>Shall be sloping, simple, and symmetrically pitched, and in the configuration of gables and hips. Pitches allowed between 5:12 and 12:12. A fairly consistent range of roof slopes for buildings within a neighborhood is encouraged. Flat roofs are permitted only by 'Exception' from the County, and exceptions may be granted only within the Tc and Nc zones, and only for roof areas 1,800 sf (or less) in area.</p>	<p>Fishscale and shield shingle shapes must be approved by the Planning Staff or Review Entity. Groups of several buildings by one builder or developer must employ a subtle variety of colors - from building to building - in the roof material. Metal roofs shall only be used in muted, earth tone, non-shiny colors and materials.</p>
SECONDARY ROOFS:		
<p>Shall employ the same material as the principle roof, generally: There are some instances where a change in material is successful, and may be approved by the</p>	<p>Shed roofs shall have the ridge attached to an exterior building wall. Flat roofs are permitted only when edged by a parapet, or occupied by a deck and edged by a railing, and only for roof areas 1,200 sf (or</p>	<p>For buildings of a multiple grouping, projecting elements, such as entry vestibules, must use a variety of roof shape and type - from building to building.</p>
DORMERS:		
<p>Dormer roof material shall match that of the principle roof.</p>	<p>May sit within roof or extend the wall plane up through the eave. Dormers may have roof pitches at variance to the main</p>	<p>Dormers shall not be extremely small, nor built as a "fake" dormer (servicing no internal space).</p>
GUTTERS/DOWNSPOUTS:		
<p>Shall be steel, copper, oiled wood, or ESP aluminum. Vinyl material shall be Conditional, to be reviewed by the County at time of Building Permit, in order to determine the highest quality commonly available in the market.</p>	<p>Rectangular or round in section.</p>	<p>Color shall match fascia color - except copper, which shall be allowed to age.</p>
EAVES/RAKES:		
<p>Shall be wood, vinyl, or aluminum. If vinyl or aluminum, must be carefully designed and detailed.</p>	<p>Shall exceed 24" overhang from wall, and may have exposed rafters. Rakes (eaves on a gable end) shall exceed 16" overhang from the wall plane (greater dimension for larger buildings: Exceed 20").</p>	<p>Several buildings grouped together must produce a variety of color on eaves and rakes - from building to building. The minimum fascia dimension for all eaves and rakes shall be 5 1/2".</p>
SOFFITS:		
<p>Shall be wood, vinyl, or aluminum. If exterior plywood, shall be 3/8" thickness at minimum. If vinyl or aluminum, must be high quality, carefully designed and</p>	<p>Careful detailing of soffits is strongly recommended.</p>	<p>Color shall be complementary to the colors of the building walls and roofs.</p>
CORNICES:		
<p>Styrofoam elements are prohibited.</p>	<p>The addition of detail to cornices (producing relief and shadow lines) is strongly recommended.</p>	<p>Shall be complementary in appearance to the building's style.</p>
SKYLIGHTS:		
<p>Glazing shall be glass or durable, high quality transparent synthetic.</p>	<p>Shall not be bubble type in shape, but instead flat and low lying on the roof.</p>	
ACCESSORY ELEMENTS:		
	<p>Utility or venting elements shall be located on roof slopes facing away from public streets, whenever possible.</p>	<p>Color of materials shall be subdued and complementary, whenever possible. Grouping of venting elements together within a framed chimney element is recom-</p>
MECHANICAL EQUIPMENT:		
		<p>Large scale mechanical equipment, when required to be placed at the roof area, shall be thoroughly concealed from ground level public view.</p>

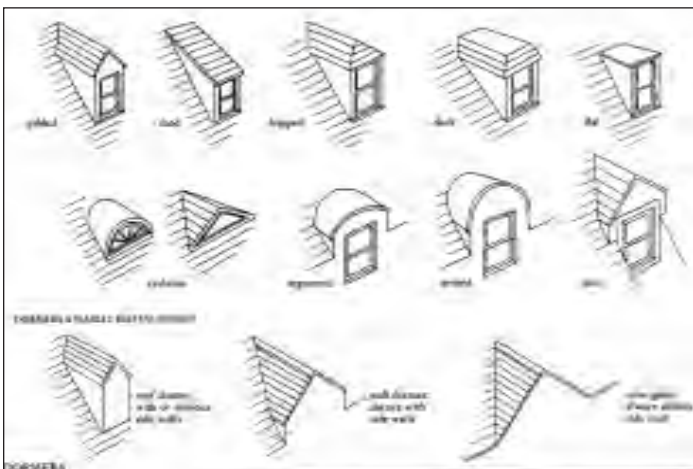
ILLUSTRATIONS



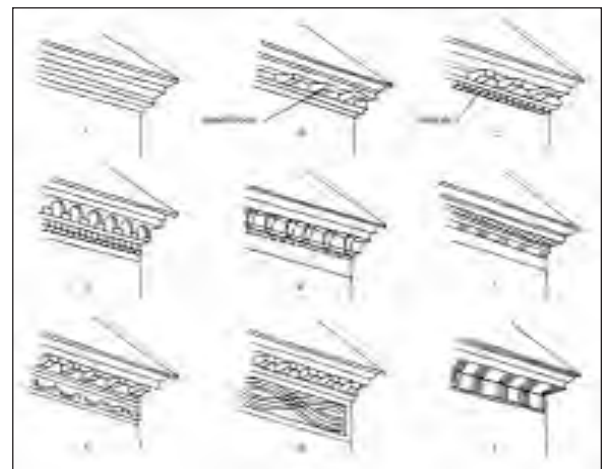
Roofs and volumes may be highly picturesque, when controlled by skilled design and when suitable to the particular kind of architecture. On the other hand, certain styles have always been generated from an architecture of "wall and opening" - as opposed to shifting volumes and lively silhouette.



Extensive overhangs of roof eaves and rakes are part of mountain building methods for dealing with snow, ice and wind. These must be detailed carefully - for instance; brackets holding overhangs are visually and structurally integrated with the wall framing in this cabin depicted above.



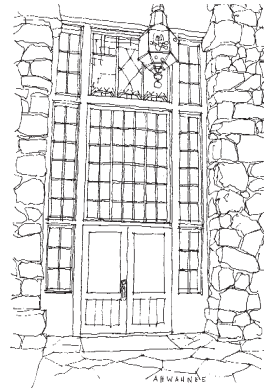
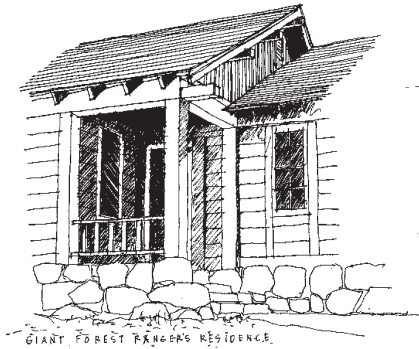
Many types of gables may be appropriate to the architecture and the public facade of a specific building. Scale, proportion, detailing, and evidence of genuine use are the key ingredients for judging these elements of the roof.



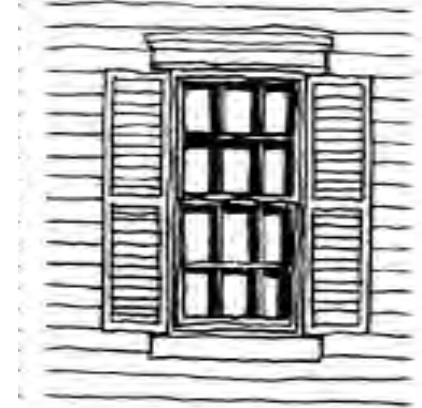
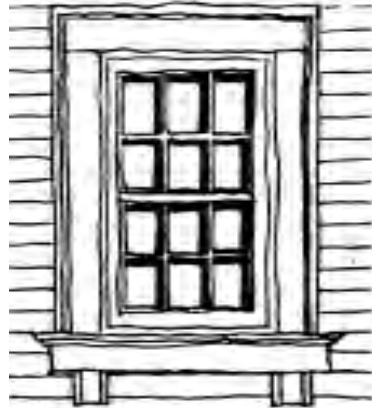
Where less critical conditions exist with risks of snow and ice, a smaller eave overhang may be detailed in a variety of ways for useful effect. The eaves are often the most visible part of the roof.

	CONFIGURATION	TECHNIQUE
ENTRY DOORS: Shall be built of wood, embossed steel, or fiberglass with wood veneer.	Double doors are prohibited. Shall be placed on or near the front facade, visible from the public street, and be directly accessible from the street.	Shall be hinged when visible from a public way. Untreated aluminum and steel are prohibited. The front door(s) to a building should be an important visual element.
SERVICE DOORS: Utility doors, storm doors, and screen doors shall be constructed of wood, metal, or	Storm doors and screen doors shall be half view, three-quarter view, full view and free of decorative trim.	Shall be hinged.
GARAGE DOORS: Shall be built of wood, embossed hardwood, or fiberglass - with glass windows as optional elements. Aluminum garage doors are permitted when accessed from a rear alley or lane (thus not visible from street), unless of the highest quality commonly available on the market.	Shall not exceed 9' - 6" in height nor 11' - 0" in width if within 30' - 0" of the street frontage line and if visible from that street. Shall be set back a specified distance (see Section VI.C.3) from either the front setback of the lot or from the front face of the main building facade.	Recommended to have glass, raised panels, or both. Doors opening on alleys are recommended to have a light fixture activated by a motion detector.
STORM / SCREEN DOORS: Shall be built of vinyl, pre-painted aluminum, or wood.	A glass panel shall occupy - at minimum - the upper half of the door.	Untreated aluminum and steel are prohibited. Overly ornate patterns of pressed metal are prohibited.
WINDOWS: Shall be wood, clad in vinyl, clad in pre-painted metals, or made entirely of vinyl. Untreated aluminum and steel are	Shall be rectangular, the majority operable, each individual unit vertically proportioned, and units facing the street shall be very generous in size and generous in cumulative area on the street facade: Exceeding 20% of the front facade area.	Shall be single hung, double hung, triple hung, casement, awning, or fixed. Variation in the proportions of window openings may occur from floor to floor. Circular windows are discouraged, allowed only if part of a high quality design.
BAY WINDOWS: Shall be made of trim lumber and is recommended to have a metal roof.	On street facades, it is recommended to have bays extend to the ground or be structurally supported by brackets.	Shall be employed as an alternative to selected standard windows in multiple building groups to add variety and scaling
SHUTTERS: Shall be wood or vinyl. Color selections are to be made from a Master List, or shall be of a dark, subdued color.	Required on all houses < 1,800 s.f. unless the house design includes exceptional quality detailing. Shall not be undersized: i.e., each shutter >50% of the width and the full height of the adjacent window.	Shutters shall not be painted an overly bright color, unless made of an exceptional quality. Shutters shall be applied to all or none of the windows on any given elevation of a single family house.
GLASS: Shall be clear and free of color. Selected windows may be stained glass, art glass, or frosted glass - subject to review/approval by Planning Staff or Review Entity.		Mirror glass is prohibited. The glass reflectivity "co-efficient" shall not exceed 10%.
MULLIONS: Shall be vinyl or wood, and may be the snap-in variety or the type placed within the two panes of insulating glass - as well as mullions holding together truly divided	Within a single building, proportions of mullion rectangles must be complementary to the window proportion within which they are placed (ex: Not horizontal in a vertical proportion window).	The addition of window mullions to windows of buildings - especially on the street facing walls - are strongly recommended, for variety and visual interest.
TRIM & CASINGS: Shall be wood, fibercement, and (if well detailed) vinyl, aluminum in small face dimensions, and stucco.		The strong detailing and resulting shadow lines of traditional casings is strongly
SECURITY DEVICES: Security doors and window grills must be approved by the Review entity.		Shall be unobtrusive and visually compatible with the building elements.
MISCELLANEOUS:		Commercial and business windows facing public spaces must allow views into working areas or lobbies, pedestrian entrances

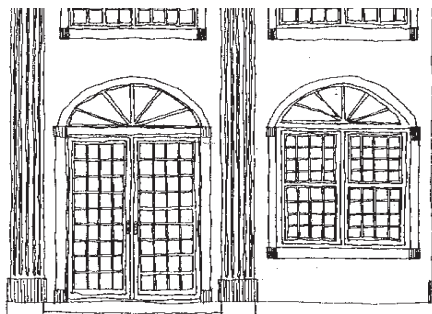
ILLUSTRATIONS



Simple doorways can speak to the identity of the building within its context. The informal approach is suitable for an Edge area (or a remote alpine locale). The formal doorway may generally be better suited for central areas. Entry doors are often combined with windows and other elements to form an ensemble - dignifying the entrance and the experience of the user. The building style should not be a constraint to any technique, buildings must be articulate in their speech.



Window openings are recommended to have strongly detailed casings, moldings, or brackets - and shutters when stylistically acceptable - and this detail must be carried out in convincing and reliable construction technique.



The range of architectural expression proposed with the Design Standards allows for both modest and elaborate treatments of windows, doors, and surrounding detailing. The building's strategy for its openings derives from its use, its style and its location within a neighborhood.



The type and location of windows and doors must be appropriate to the building use, building type, and selected architectural style. Public and commercial facades require a degree of monumentality that would be inappropriate for residential design.

	CONFIGURATION	TECHNIQUE
PORCHES: If wood, the finish members of 'street visible' porches shall be high quality wood (Cedar, poplar, etc.) or synthetic hardwood (ex: Trex or similar quality exterior material). If concrete, shall be brushed finished and well detailed for its size.	Ground floor porch levels must > 2' - 0" above the sidewalk grade, and they must be roofed. Porch roofs should handle the movement of rain and melting snow in an effective manner, in order to maintain an attractive appearance over a long period.	As highly visible elements, porches must be strongly, thoroughly detailed and constructed with a high level of craft. In groupings of several buildings, porches must be varied in appearance (while remaining complementary in style). For undercrofts,
STOOPS/ STEPS: Shall be stone, concrete, stucco or brick. Wood is permissible at secondary entrances out of sight from the public streets. Railings must be wood, painted steel, or vinyl.	In settings facing the street, railings are required for any porch, landing, or deck 16" above grade, and must be substantial in dimension and generous in proportion: not thin or skimpy. Concrete stoops and steps >20" height must be strongly detailed - not	Exterior fire escapes are prohibited on the sides of accessory unit walls, except at their rear - predominantly out of public view.
PIERS/POSTS: Shall be stone, stucco, rusticated block, high quality concrete (or aggregate) block, brick, or a high quality wood (with a high	When made of stucco, stone, or masonry, plan dimension must exceed 10" x 10" (width shall not exceed 1/4 nor be less than 1/12 of the pier height). When in wood, must exceed 8" x 8" (when square) or 8" diameter (when round). Must be strongly detailed at the capital and base conditions.	Shall be spaced no further apart than they are tall. Shall be employed in a variety of types when located in groupings of multiple buildings (while remaining complementary in style). Shall be well detailed. Thinner proportion posts are permitted only when posts are paired together.
ARCADES: Shall be stone, stucco (of high quality detailing), rusticated block, high quality concrete (or aggregate) block, or brick.	Arched arcades (as opposed to rectilinear) shall follow established proportions for segmental or round arches (as shown in the American Vignola or other style books).	Shall be constructed of a single material from front to back (as an arcade is a free standing structure), with no applied veneer on the front looking only 'skin deep'.
DECKS & STAIRS: Deck surfaces shall be stone, brick, concrete, synthetic planks (or Trex), or pressure treated, or high quality, wood.	Free standing decks shall be placed only on rear elevations and shall not cantilever more than 6" beyond their supports. Exterior stairs shall be of high quality material, design, and construction.	Unless enclosed by solid walls, the deck undercrofts shall be enclosed by 1"x6" (min) wood/synthetic boards: not pre-fab lattice. Inexpensive decks (or balconies) shall not be added to the front wall of a building after construction is complete (and shall be prohibited in project CC&R's).
BALCONIES/OVERHANGS: Undersides shall be constructed of wood or a high quality synthetic finish.	Railings of steel or wrought iron shall be painted black, or a dark neutral color.	When structurally cantilevered, balconies and overhangs shall show detailed support
RAILINGS: Shall be metal (painted), vinyl (open picket or solid panel), wood (high quality/painted), or composite/synthetic: not framing stock.	Railings to steps and porch (required) must be substantial in dimension and proportion: not thin or flimsy.	In groupings of multiple buildings, railing color and components must be varied - to yield visual interest (See Section 2, follow-
CHIMNEYS: Chimney enclosures shall be stone, stucco, or brick. Flues shall be tile, terra cotta, or	Shall employ careful detailing (following the correct practices of the material), especially at the chimney top, in order to achieve shadow lines and visual detail.	In groupings of multiple buildings by the same builder or developer, chimney material and color must be high quality and varied - to yield visual interest.
TOWERS: Shall be constructed in the highest quality material used in that building, unless those materials are the minimum: then 'higher'.	Shall be well proportioned (primarily: Not too skinny) and shall not extend higher than reasonable proportions would suggest.	Shall not mimic explicit historical styles, if doing so results in a jarring relationship with its building or with surrounding
AWNINGS: Awnings shall be built of a metal structure covered with canvas or synthetic canvas. Materials shall be visually complementary to the building materials. Awnings on street walls of detached houses are	Shall be rectangular in shape with straight edges. May have side panels but not bottom panels. Awnings shall be no higher than 12' - 0" above grade, when used for storefront shading.	May not be used as signs in NR, NE or NG zones. In NC or VC zones, may not be used as the primary business sign; and lettering height may not exceed 4". Shall not have a glossy finish.
UTILITIES:	In groupings of attached residences, the large meter banks for utilities shall be screened from any view from the street or	Careful placement of utility equipment and meters is required, and these elements shall be substantially screened by plantings when located at or within the lot frontage.

ILLUSTRATIONS



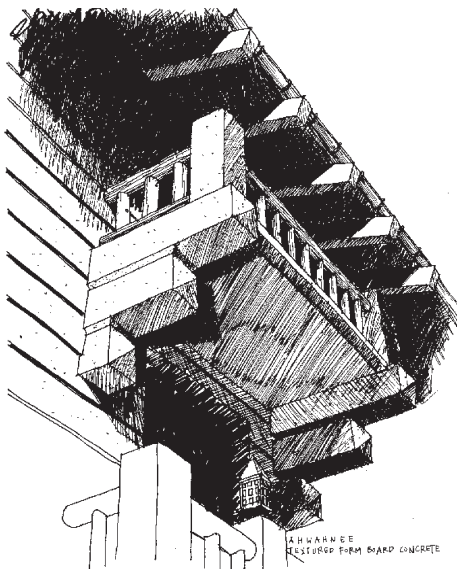
Two story porches fronting onto the street provide an excellent frame for the public space, even more so when first floor is set above the "minimum" of 2' - 0" off the sidewalk. Generous amounts of windows and doors are recommended to face onto the porch.



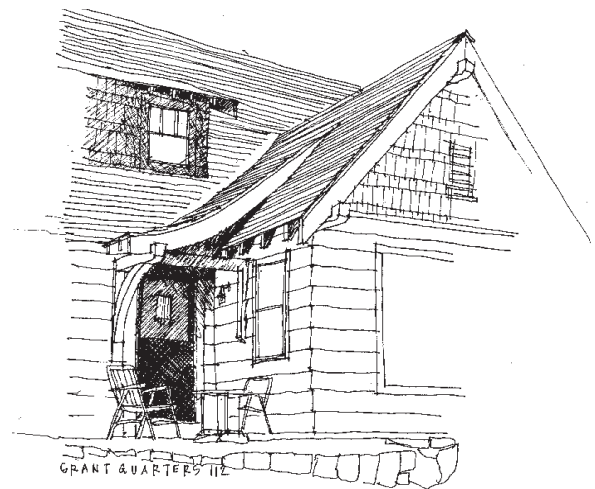
Broad porches that front toward the public space can define the place and its activity very effectively even when the primary building volume is small or quite simple.



The elements of facade can be simple - but must be generous in scale, convincing in the details, stylistically complementary to each other, and well built.



Balconies and bays, when well executed, are suggested as appropriate means to enliven simple walls - articulating to the public domain the nature of the building - without having to manipulate the building volume in more expensive ways.



Western building has traditionally used sheltered entries, exposed rafter tails, double hung windows, supporting brackets at roof overhangs, combinations of shingles and horizontal siding on walls, and dormers. An enduring architecture can be created with simple means, and understanding material.

A. DESIGN CHARACTER

	CONFIGURATION	TECHNIQUE
PATIOS/COURTYARDS: Shall be concrete, masonry pavers, grass or (in square areas) stone dust.	Location and height above grade are defined by setback lines for each lot.	Shall be set at a maximum of 18" above grade in a flat grade situation.
GARDEN WALLS: Shall be stone, stuccoed block, concrete, or brick. Shall match or be complementary to building walls, or to stone paving on the lot. Stone or masonry retaining walls (or as low walls acting as a base for fences) are	When located within the lot frontage, shall not >48" height. Shall not >75" along the rear and side boundary (from the point 15' - 0" behind the building front, and back). Exception: When a fence comes from a front building corner.	Cap details of stone at least 3" thick shall be placed atop the wall. Wall planes shall be minimum of 75% opaque. Solid walls may have panels of railing or grills placed
FENCES: Tc / Nc: Shall be configured only in masonry and wrought iron (painted). Nc / Ne / Nr: Shall be configured as pickets, rails or boards, and constructed of wrought iron (painted), vinyl, composite/synthetic, wood (painted), stone, or masonry. Chain link, wire fencing (razor wire, barbed wire) cyclone fencing, are prohibited.	Fences on neighboring lots shall be of different designs; sometimes only slight adjustments are effective. Fences shall provide closure to the lot (or yard) area when viewed from a public way. Shall not exceed 75" in height along side & rear property boundaries, and not to exceed 48" along front property line and along the side boundary from front building wall to front	Terminal posts in fence shall be fatter and taller than other posts. Fences of painted steel or iron shall be black, dark green, white, or gray. In groupings of large buildings, variety of color, material, and detailing is required for visual interest - so long as the variety is achieved with complementary
WALKS AND STEPS: Shall be stone, slate, concrete pavers, brick, tile, or concrete.	Entry porch heights should be a minimum of 28" above grade.	Shall be a minimum of 42" wide when located within the frontage area (the front yard) of the lot.
HEDGES: Plant material shall be subject to a Master Plant List in the Landscape Standards.	May be used instead of fences.	Shall be configured with simple geometry - straight line or simple curve.
GROUND COVER: Common grade yard grass is acceptable. Other groundcovers appropriate to the local climate are welcome (see Landscape		In groupings of buildings, variety and detailing of ground areas - with a variety of plant materials - is strongly recommended.
GROUND PLANE: Railroad ties (or similar) are prohibited within the lot frontage area - for grade retaining - except in the Ne Zone.	Finish grades shall be constructed of shallow enough slopes to avoid erosion and runoff onto adjoining properties or public	Inappropriately rustic elements (for the Neighborhood Condition) at the front yard are prohibited - such as boulders or high grasses within the Tc, Nc or Nc zones.
DRIVEWAYS & PARKING: Shall be concrete, asphalt, or concrete pavers. For multi-family buildings, the use of curbs at driveways is subject to specific	Locations of driveways are defined by a Lot & Block Standards. Maximum width of drive at lot line, when connecting to street or rear lane, shall be 16' - 0" for single family residences and 20' - 0" to 22' - 0" for multi-family buildings. (See Table A/VI.B.3). Maximum driveway grades are subject to Fire Marshall review.	Poured concrete drives should have a roughened finish, especially in a northern climate. Gravel, concrete, or asphalt parking areas shall not be placed where grassed lawn area has been required.
ACCESSORY STRUCTURES:	Machinery, children's play structures, storage uses, and swimming pools are prohibited from being located in a front yard ("Building Frontage": see Section VI.C.3).	Above-ground swimming pools are subject to the building setbacks for Accessory Buildings established in Section VI.C.3,
MISCELLANEOUS: Trellis structures are acceptable when constructed of attractive and durable materials, with substantial (not meager or thin) proportions and dimensions.	Service activity and unfinished work projects are prohibited from being located in a	Confirm power supply ground sleeve/transformer location along the lot line during design and construction preparation in order to minimize its visual impact.

ILLUSTRATIONS

YARDS



The placement of a residence up to the mandatory setback line creates a small semi-public space at the lot frontage and a larger private yard at the rear of the house.



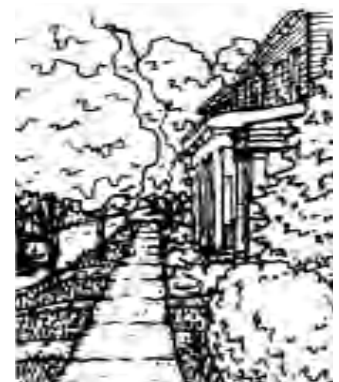
The front yards of residences must use a number of elements to articulate the perceptual distinction between public and private space: fence or hedge at sidewalk, walkway and steps leading to entry porch, landscaping of yard, raised level of porch, and columns and balusters framing the porch.



Hard surface courtyards to the side and rear of residences will enhance the use and appearance of small spaces, especially if generous window openings and doors connect the interior of the building to the courtyard.

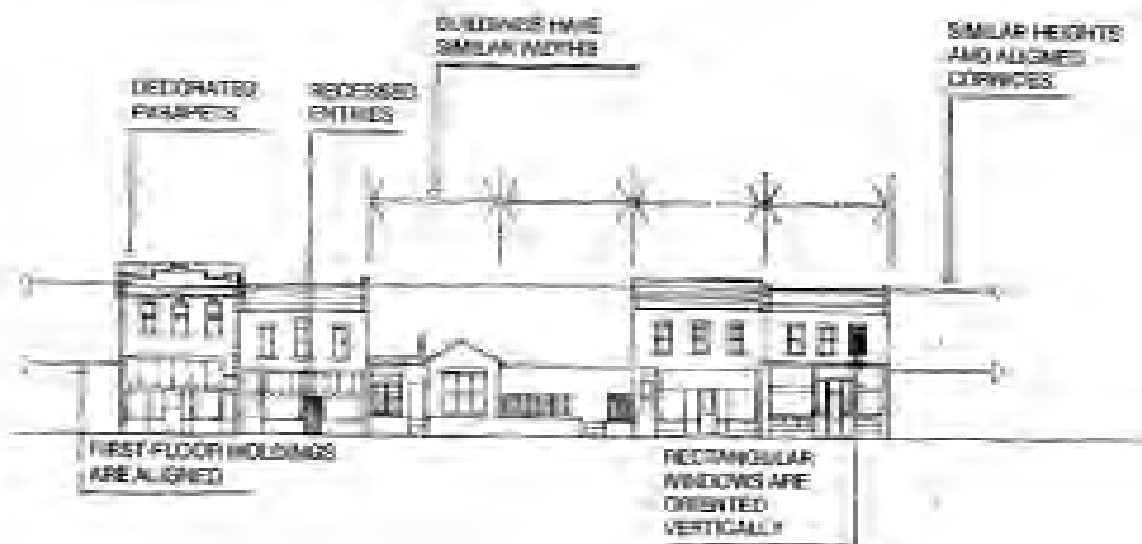


The landscape materials used are dictated by the type of outdoor space employed - Edge yard, Side yard, Rear yard, Courtyard, or the type of frontage - Forecourt, Dooryard, Porch and Fence, or Common Lawn. In each case, hard surface is not correct and grass is correct, or vice versa.



	CONFIGURATION	TECHNIQUE
<p>SHOP WINDOWS: Shall be wood, painted aluminum, or vinyl. Window frames shall be set back from the adjoining wall material by at least 2".</p>	<p>Each shopfront shall be designed individually when part of a larger building ensemble. However, each storefront's components (windows, doors, signage) shall be of a unified design.</p>	<p>Storefront glazing shall be comprise 70% to 80% of the ground floor facade. Window displays shall not have backdrops. Displays throughout the store shall be designed to be seen through the storefront.</p>
<p>ENTRY DOORS: Shall be wood or painted aluminum, and hinged type.</p>	<p>Shall be recessed a minimum of 3' - 0" from shop front and windows and generally located near the center of the storefront, except at building corners. Shall include glass for a substantial (>50%) portion of the</p>	<p>It is strongly recommended that the distance between shop front doors along all commercial frontages be as small as possible: 25'-0" intervals are ideal for the</p>
<p>GRILLS AND SCREENS: Security doors and screens must be reviewed and approved by the Planning Staff or Review Entity.</p>	<p>Any box installed for containing rolled up security screens shall be hidden from view behind architectural elements.</p>	<p>Shall be visually compatible with the building architecture and the storefront image. Solid and opaque elements shall be</p>
<p>SHOP FRONT ELEMENTS:</p>	<p>Each storefront business shall employ a door, and no shopfront shall take more than 80' - 0" of retail frontage (see Section VI.C.3 Building Frontages).</p>	
<p>SIGNS: Shall be wood or enameled steel, with durable finishes. (See Section VIII.A.3 Signage Guidelines).</p>	<p>A single external blade sign may be hung below the second floor window sill perpendicular to the building, extending from the building a maximum of 4' -0". Sign height is a maximum of 2' - 0". (See Section VIII.A.3 Signage Guidelines).</p>	<p>Signage on glass shall be vinyl cut - out letters or gold painted letters with black highlighting (not posters and not handwritten). Signs shall be mounted so as to conceal the method of attachment, unless the method is highly attractive. (See Section VIII.A.3 Signage Guidelines).</p>
<p>DISPLAY (INTERNAL) LIGHTING: Storefront displays shall be illuminated by halogen lighting - a "white" color light, the most successful type for display and retail uses. Only the smallest amount of neon (2 square feet in area) is allowed within a</p>	<p>Lighting intensity shall be appropriate to the display task. Overly strong, garish, multi-colored, or actively moving lighting is</p>	<p>After closing, store lights shall be activated at 60% capacity until 11PM, with emphasis on the window display and back wall inside</p>
<p>EXTERNAL LIGHTING: Mercury vapor and "non - color corrected" low pressure sodium light sources are prohibited (see Section VIII.A.4 Building</p>	<p>Signs shall be externally lit. Neon signs of no greater than three feet in any dimension (with a maximum of six s.f. of sign area) are permitted inside storefronts.</p>	<p>Street elevations of corner buildings shall be illuminated, at the ground floor. (see Section VIII.A.4 Building Lighting).</p>
<p>OUTSIDE ELEMENTS: Miscellaneous fixtures or accessories shall be good quality wood or metal, when visible from any public area.</p>	<p>A selection of merchandise may be displayed on the sidewalk outside the store.</p>	<p>Sidewalks shall be swept once daily and scrubbed or power washed weekly. Proper and timely snow removal is required.</p>

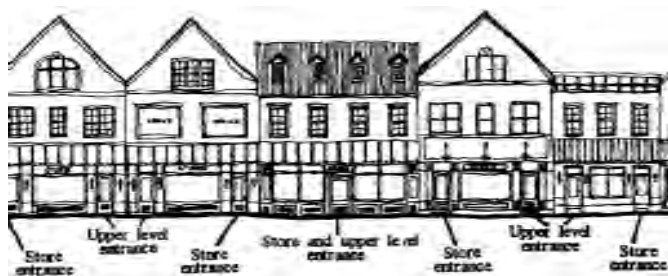
ILLUSTRATIONS



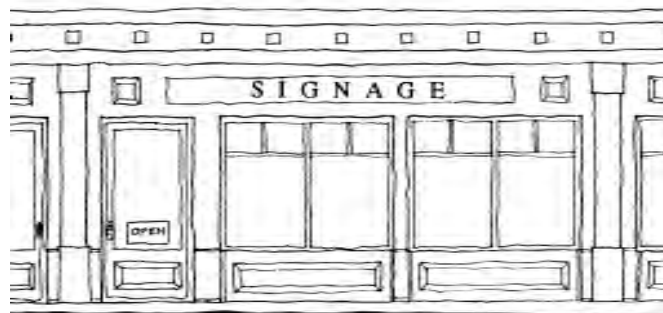
Single storefronts shall not take more than 80' - 0" of retail frontage, and any storefront exceeding 40' - 0" of frontage shall employ an additional entry door. The small storefront increment is crucial to pedestrian interest and patterns of activity.



Storefronts may be designed with a variety of styles, formal or informal, so long as the basic rules of retail frontage are followed: large windows, frequent door location, lighting of proper intensity and direction, well executed merchandizing within windows, and clear, understated signs.



Ground floor commercial uses should be differentiated by their facade treatment - signage, awnings, larger windows, color, material, lighting - and by a string course (or moldings) at the top of the ground floor.



Signs shall be architecturally compatible with the building facade - in shape, size, and character as well as graphic quality.

VII. MISCELLANEOUS

DESIGN, COMPOSITION, & PROPORTION:

Due to the importance of principles of visual quality, the Guidelines Part of this Section has been included with the Standards in order to guide the Review Entity in identifying criteria for successful or unsuccessful appearances. This Guidelines Part is also included in the accompanying Handbook for this code, along with the Guidelines for all other Sections.

As examples of basic design principles, a few common shortcomings of buildings are listed to highlight the need for general design criteria to be included within the project scoring. Acknowledging how difficult it is to quantify judgments such as this, the need for general guidelines for quality is important. For example: Ungainly proportions of building volumes, overly large expanses of blank walls with no windows, too many 'nested' gables leading to visual confusion, disorganized combinations of materials, extreme projections of minor components compared to the body of the building, spindly or extremely thin proportions of columns or posts, and roofs too shallow in pitch for their building type.

PROHIBITED ELEMENTS:

Window air conditioning units, above ground pools, curved windows added for no useful or compositional logic, Mansard style roofs, panelized materials, flashing signs, solid or opaque security elements, roof mounted signs, moving signs, commercial or advertising flags (see Signage Standards).

ELEMENTS PLACED WHERE LESS VISIBLE:

Clotheslines, HVAC equipment, utility meters, solar panels, satellite dishes, garbage containers, antennas, private residential play equipment, in ground swimming pools, vegetable gardens, dog houses and dog runs, hot tubs and spas, bird baths or statuary, permanent barbecues, irrigation and pool pumps.

SERVICES:

Service bay design must be durable, and must take into account ice and snow build-up, storm drainage, and heavy water cleaning practices. Service bays must be concealed from view if possibly seen from public areas. If necessary, permanent visual screening must be provided.

Separate structures for services must be constructed in materials and forms compatible with the principal building. All garbage containers, dumpsters, and related structures must be carefully placed out of the view or permanently screened from any public area.

COMPONENT SELECTIONS FROM THE MASTER LIST:

If a Master List is established for the Master Plan in order to guide the selection of products, an individual project will receive density incentives to choose the best available building components.

- | | |
|---|---|
| <ol style="list-style-type: none"> 1. Walls <ol style="list-style-type: none"> a. Brick b. Vinyl c. Stone d. Mortar 2. Roofs <ol style="list-style-type: none"> a. Shingles b. Tile c. Metal 3. Openings <ol style="list-style-type: none"> a. Doors b. Windows c. Shutters | <ol style="list-style-type: none"> 4. Elements <ol style="list-style-type: none"> a. Railings b. Columns & Piers c. Decking d. Awnings 5. Yards <ol style="list-style-type: none"> a. Fences b. Walls 6. Storefronts <ol style="list-style-type: none"> a. Shop Windows b. Grills & Screens |
|---|---|

COLORS:

Colors may also be selected from a Master List that allows for density incentives within a Master Plan.

1. Roofs shall be one color per material per building. In special cases, two good quality materials may be approved, in writing, by the review entity.
2. Walls shall generally be one color for each combination of material and configuration used. Trim shall be one color, which may or may not be the same as the wall color. An accent color for such items as Entry Doors or shutters is required.
3. Accent lines (ex: stringcourses or cornices) shall not be bright or multiple colors, but can be important details to the visual quality of a building when employed in complementary colors.

EXCEPTIONS & INTERPRETATIONS:

Exceptions may be granted on the basis of architectural merit, site conditions, and / or other unusual circumstances - in writing, by the Review Entity working with the County Planning Staff.

GUIDELINES

OBJECTIVES

I. ARCHITECTURE AS COMPLEMENT TO TOWN-MAKING:

The Building Standards are meant to be integrated with the Community Regulations and the Public Space and Street Regulations in order to create and support a pedestrian friendly atmosphere of beautiful streets, memorable public places, distinctive house types allowing personalized private gardens, and a coherent neighborhood vision to secure the attractiveness and value of each building throughout the community's life.

II. STANDARDS & VOCABULARY:

All design codes regulating architecture must perform two complementary functions - to inspire designers and give a range of expression appropriate to the community, as well as define a base line set of standards. The Building Standards (in A. Design Character) provide this minimum standard of quality control. The following Section (B. Design Vocabulary) is intended to describe a set of good choices within traditional and current styles.

VISUAL HARMONY:

A community or neighborhood is physically unified by common design features - which are comprised of coherent variety of building mass and style, suitable variety of roof types, facade treatment, scale and style of elements, consistent quality of materials, convincing execution of important details, pleasing array of colors - and the relationship of these features to the public spaces and streets. The buildings of the project shall all support this harmony of the combined group - each contributing to a 'genuine' feeling of the place.

VARIETY:

The mixed use character of a neighborhood brings a variety of building types into play. These types must be harmonious (as defined in previous Sections), but not regimented. As the buildings employ correct town making techniques, the visual harmony of a consistent architectural language can bring a varied array of small, moderate, and large building types into a coherent, pleasing ensemble.

STYLE:

Certain prohibited design strategies may be identified as a way to clarify appropriate goals. For example, historical or period design motifs that are neither representative of the local area, nor adhere to the quality of the proposed architectural vision, include (but are not limited to) the following: A - Frame or geodesic shapes, Swiss chalet, ornate Victorian, Tudor or half timbered expression, and Colonial.

SCALE:

The use of a monotonously consistent template or boring repetitive architecture within a number of residential units in proximity to one another is not recommended. As this consideration depends on a degree of aesthetic judgment, the issue must be reviewed carefully project by project - and depends on other factors of the building's quality.

HEIGHT & MASSING:

Building heights (as an available maximum) have been established in Section VI.C.3 for each Neighborhood Zone. The general intent is that the height and bulk of individual buildings should be harmonious with their neighbors. The key characteristic of a building's volume is how it clearly defines the public space of its frontage.

MATERIAL:

Certain materials are inappropriate to the goals of this community: Aluminum, asphalt, or plywood siding; Slump block, plain or colored concrete block (unless employed with exceptional skill); Half timbered stucco or inlay techniques; Sheets of brick pattern that attempt to appear as bricks.

COLOR:

Colors of roofs, walls, trim, and individual elements are subject to a range of selection from a Master List. In general, subdued, neutral hues and earth tones are the guiding reference. Colors are not limited - provided they are not luminescent, iridescent, or neon.

BUILDING SITING:

In addition to their placement on lots as prescribed by the Block and Lot Standards, buildings shall be situated on their parcels in ways responsive to adjacent development, topography, surface drainage, vegetation, views and corridors, solar, and micro-climatic conditions. Building siting shall minimize access grades from access roadways. The primary orientation of a building is always to be understood as "fronting," or facing the public space of the adjacent street.

PRINCIPLE-SIGNAGE

Integrate Signs to their Context.

Use building signs as accessory elements within high quality architecture and embed any freestanding monument signs into the landscape (or streetscape) setting. When simple, conveying their message clearly and quickly, they promote the visual image of the entire community.

BUILDING

Size, material, color, graphics defined and controlled by type:

- Blade /Perpendicular
- Suspended
- Surface
- Awning
- Window

STREETSCAPE/LANDSCAPE

Size, material, color, graphics defined and controlled by type:

- Pole & Pylon
- Monument
- Transit Locations

THOROUGHFARE

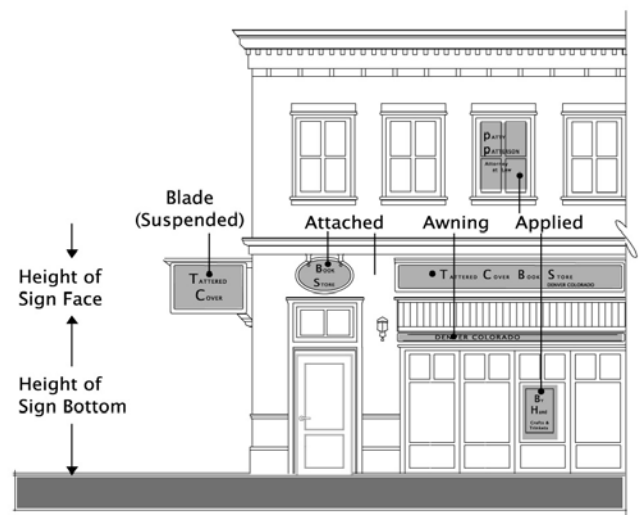
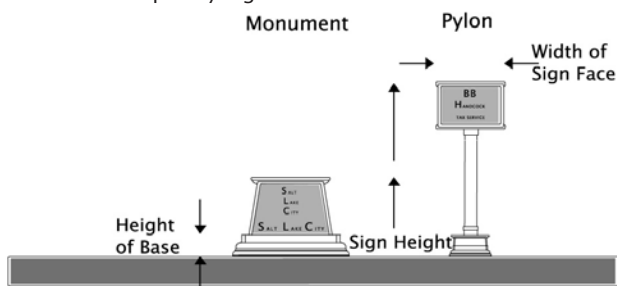
Size, material, color, graphics defined and controlled by type:

- Pole & Pylon – larger in scale than street-scape pole /pylon signs to accommodate visibility from moving vehicles
- Billboard / Advertising



SIGN TYPES

- Building Signs
- Landscape Signs
- Streetscape Signs
- Thoroughfare Signs
- Roadway Advertising
- Temporary Signs



Graphic representation of sign elements employed by the standards of the Signage Section.

PRINCIPLE-LIGHTING

Support Coherent and Legible Places.

Exterior building lighting should be located in areas of pedestrian activity at entrances to buildings and public places, at drop off points from vehicles, and at service bays. This illumination is best as an accent (only) for localized settings - such as highlighting ground surface environmental features, landscape features, and architectural detail.

SPECIALTY LIGHTING - ENTRIES AND CORNERS

Strong accents at entrances of commercial establishments are recommended, when fixtures are small and illumination level is moderate.

Ground level and stairway brightness is essential for safety, and glare should be minimized.

Buildings at the corner of blocks shall provide accent lighting at their corners, to enhance pedestrian comfort and visibility.

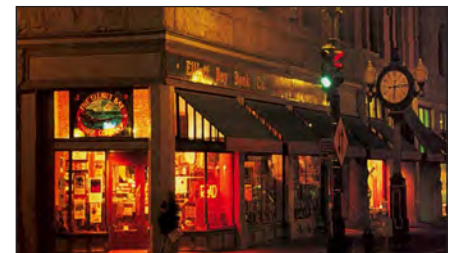


BUILDING LIGHTING

Concealed fixtures shall be complemented by visible (decorative) fixtures, achieving a balanced range of color and ambience.

Recessed fixtures shall be located within overhangs, porches, arcades, and soffits.

Decorative fixtures shall be modest in size and constructed of durable material to withstand weathering, with bulbs screened from the viewer so as to reduce glare.



SIGN LIGHTING

Fixtures above signs, projecting out and over, shall be directed only at the sign surface.

Fixtures within signs shall be employed with small LED bulbs, but signs shall not be back lit.



STREETSCAPE LIGHTING

Upper level sources on lamp posts shall be directed down to the ground, avoiding night-sky impact, and shall have illumination levels graduated by location within the neighborhood (more intense at Center Zones).

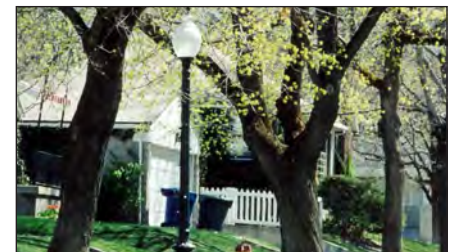
Ground level sources shall be directed down to the ground as well, lighting only the walking surface or the planting material.



THOROUGHFARE LIGHTING

Roadways and intersections shall have illumination levels graduated by location within the neighborhood (more intense at Center Zones).

Increased brightness shall be used at intersections at pedestrian crosswalks. Parking lots and service areas shall also have illumination levels graduated by location within the neighborhood (more intense at Center Zones).



PRINCIPLE

Design for today's needs through traditional technique.

Good planning depends on tangible, commonly understood physical elements. Design conditions which have shaped a community can be written as a set of Guidelines that comprise a coherent, vivid, “three dimensional” zoning code.

Civic buildings have important sites and special character to reinforce community identity. These buildings front public spaces and have special attributes, which are distinct from commonplace commercial or residential buildings.

SINGLE FAMILY RESIDENTIAL

Adjustments to a Standard Building Type: Here, detached houses achieve a diverse and pleasing image. Modifications to Attributes (Walls, Openings, etc.) are designed within a range of suitable styles and employ the right amount of formality (for the Neighborhood Zone).



MULTI-FAMILY RESIDENTIAL

The identity of a community is enhanced by appropriate architecture - responding to the historical patterns of a place. A durable vernacular of building grows from the local climate and construction practices, providing its inhabitants with a sense of the weather, seasons, and location over the course of many years.



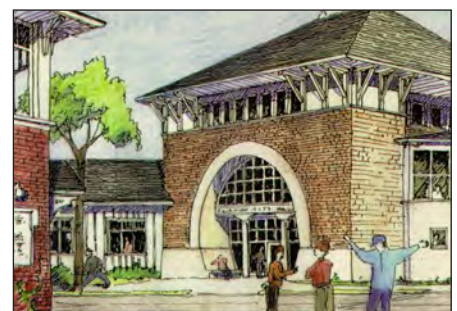
MIXED USE / COMMERCIAL

The tower of a hotel can be seen rising behind small commercial arcade fronts in this New Mexico town, establishing its importance in the skyline that is suitable for a hospitality and tourism business.



CIVIC / INSTITUTIONAL

Neighborhood meeting halls dramatically employ a monumental form (a barrel arch or classical portico) and unconventional window arrangements (bays and clerestory) within a free standing building block. These small buildings have a presence befitting a civic use.



MASSING & COMPOSITION

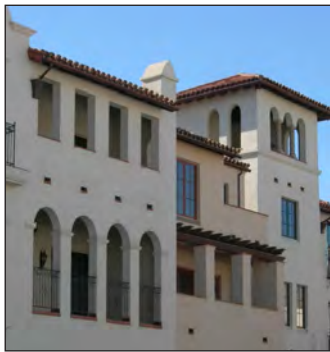


Tc, Nc, Ng ZONES



Ng, Ne, Nr ZONES

ROOFS & WALLS



Tc, Nc, Ng ZONES



Ng, Ne, Nr ZONES

OPENINGS

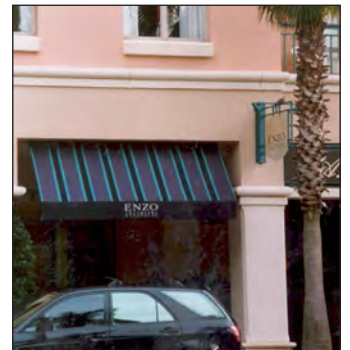


Tc, Nc, Ng ZONES



Ng, Ne, Nr ZONES

PORCHES & ELEMENTS



Tc, Nc, Ng ZONES



Ng, Ne, Nr ZONES

PRINCIPLE New opportunities can be addressed when drawing from a venerable legacy.

The singular tradition of Utah's buildings and townscapes can be renewed and relevant, still taking shape within our unique climate, society, landscape and constraints on resources. A new sustainable community, with a sensible development plan, can respond to new challenges by respecting the ideals and economies in practice a century ago. Durable and beautiful places can be built in accordance with time tested methods - for both public and private purposes.

SINGLE FAMILY RESIDENTIAL



MULTI-FAMILY RESIDENTIAL



MIXED USE / COMMERCIAL



CIVIC / INSTITUTIONAL

