

## SECTION 2

### BUILDING FRONTAGE

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- STOOP
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- TERRACE/LIGHT COURT
- PORCH & FENCE
- COMMON LAWN
- CONVENIENCE PARKING

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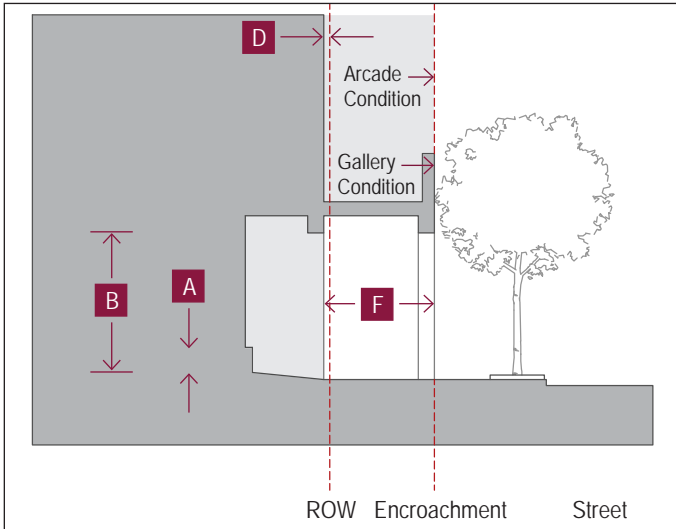
DIMENSIONAL STANDARDS

##### DIAGRAMS 1, 2

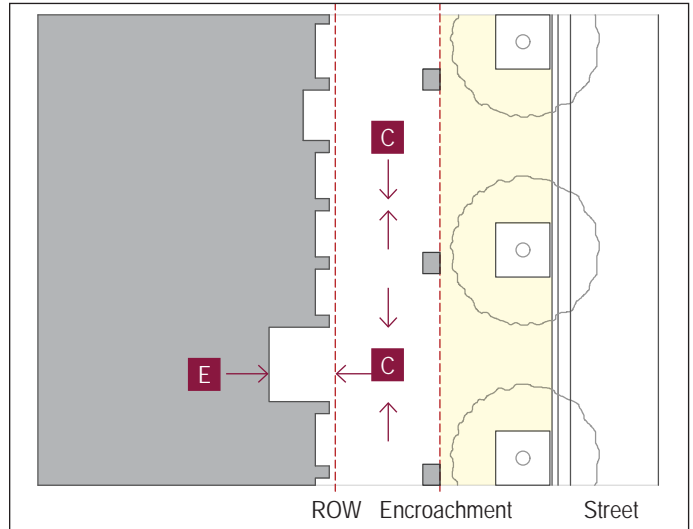
ALTERNATIVE GARAGE SETBACKS  
BLOCK PLAN

1. ARCADE & GALLERY

BUILDING SECTION



BUILDING PLAN



1. DESCRIPTION

Use	Intended for service, retail, or restaurant uses and includes generous glazing for interior visibility.
Location	Piers for Arcade / Gallery shall encroach into ROW requiring passerby to immediate proximity to shop.
Building Wall	Ground: Commercial front at or near setback Upper: Arcade encroaches; Gallery at setback

2. ELEMENTS

Entrance	Direct to sidewalk.
Entry Elevation	At sidewalk level.
Covering / Enclosure	Both Arcade and Gallery conditions shelter entry.
Footprint	Piers allow for full width of pedestrian travel.

3. DIMENSIONS

Vertical	A	Shopfront base:	6" min., 24" max.
	B	Top of shop windows	8'-0" min.
Horizontal	C	Distance between glazing	24" max.
	D	Proximity of wall to ROW	
	E	Walls within 5'-0" of ROW	Doorway recess 5'

4. MISCELLANEOUS

Windows	Ground floor transparency	75% min.
	Residential types of windows not allowed.	
Arcade/Gallery	F	Face not to exceed encroachment line.
	G	Width of recessed entry: 4'-0" min.
Signage		Details of sign design See section xx

5. PHOTOGRAPHS



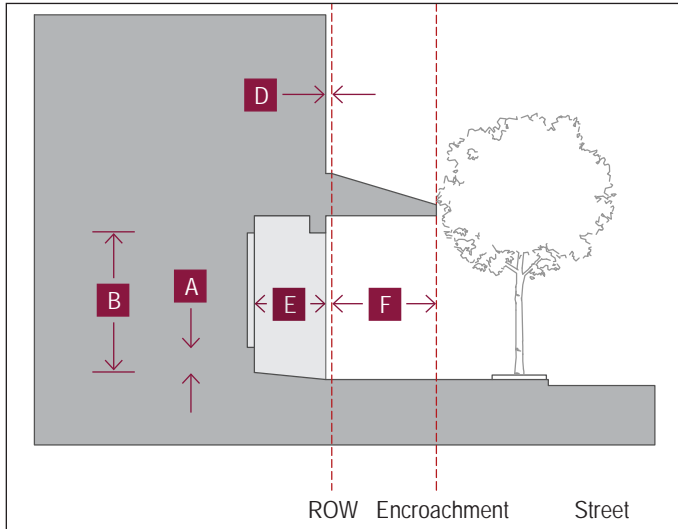
Arcade

Gallery

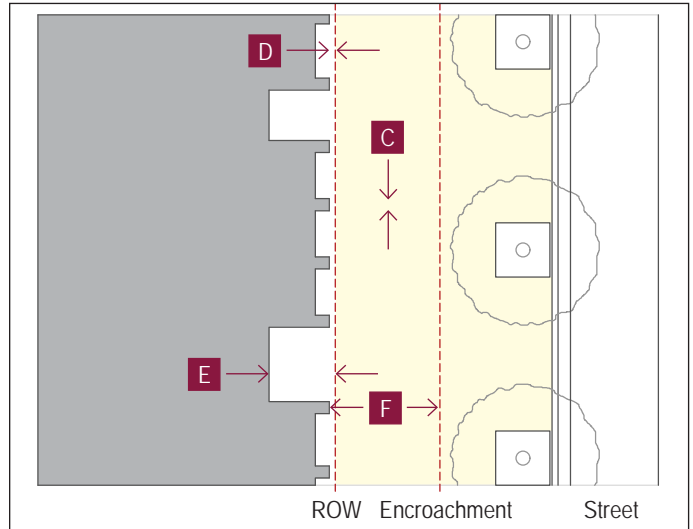


2. SHOPFRONT

BUILDING SECTION



BUILDING PLAN



1. DESCRIPTION

Use	Intended for service, retail, or restaurant uses and includes generous glazing for interior visibility.
Location	Commercial entry and merchandise directly visible to sidewalk passerby.
Building Wall	Ground: Commercial front at or near setback Upper: May incorporate awnings

2. ELEMENTS

Entrance	Direct to sidewalk.
Entry Elevation	At sidewalk level.
Covering / Enclosure	If awning, provides sun and weather shelter.
Footprint	If building wall is within 5' of ROW, entry recessed.

3. DIMENSIONS

Vertical	A	Shopfront base:	6" min., 24" max.
	B	Top of shop windows	8'-0" min.
Horizontal	C	Distance between glazing	24" max.
	D	Proximity of wall to ROW	
	E	Walls within 5'-0" of ROW	Doorway recess 5'

4. MISCELLANEOUS

Windows	Ground floor transparency	75% min.
	Residential types of windows not allowed.	
Awnings	F	Depth of awning not to exceed encroachment line. Rounded or hooped awnings not allowed.
	Details of awning design	See section xx
Signage	Details of sign design	See section xx

5. PHOTOGRAPHS



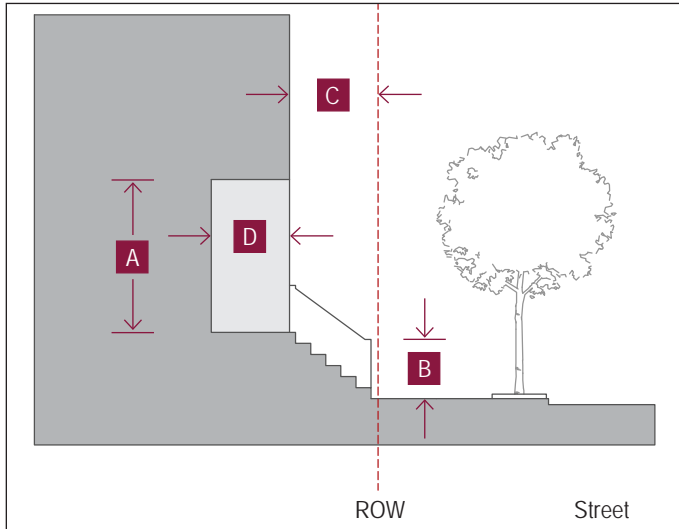
Shop Awnings

Multiple Shopfront

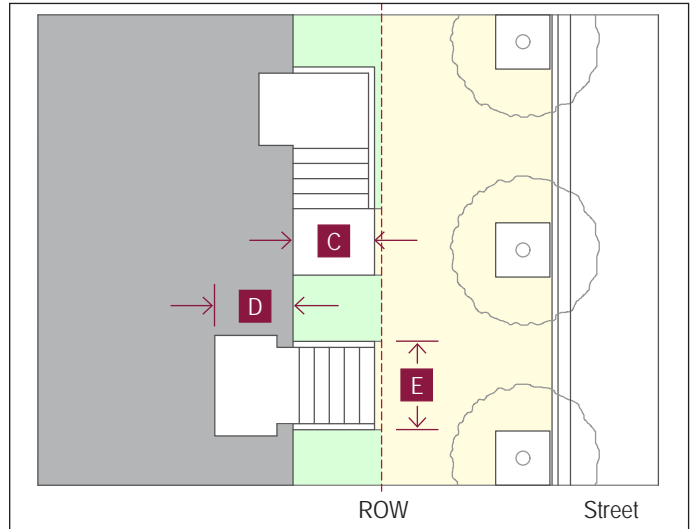


3. STOOP

BUILDING SECTION



BUILDING PLAN



1. DESCRIPTION

Use	Intended for commercial or restaurant uses with shallow setback conditions.
Location	Building entry directly accessed from sidewalk.
Building Wall	Any placement along building frontage. Setback from ROW line to allow entry steps. Landing may project from, or be inset in, wall.

2. ELEMENTS

Entrance	Direct to sidewalk.
Entry Elevation	Above sidewalk level - between 4'-0" and 8'-0"
Covering / Enclosure	Projecting top landing may be covered.
Footprint	Size of stoop suitable to specific building use.

3. DIMENSIONS

Vertical	A	Entry height - door or porch	8'-0" min.
	B	Top landing height	3' min., 8' max.
Horizontal	C	Front wall setback (ROW)	4' min., 10' max.
	D	Depth of entry at front wall	1' min., 7' max.
	E	Steps width (perpendicular)	4'-0" min.

4. MISCELLANEOUS

Parallel to Street	Steps may be one or two sides. Base of top landing well detailed. Front face of stoop may meet sidewalk directly.
Perpendicular to Street	Bottom step may meet sidewalk directly. Stair railings on both sides of stoop.
Design	Materials well detailed.

5. PHOTOGRAPHS



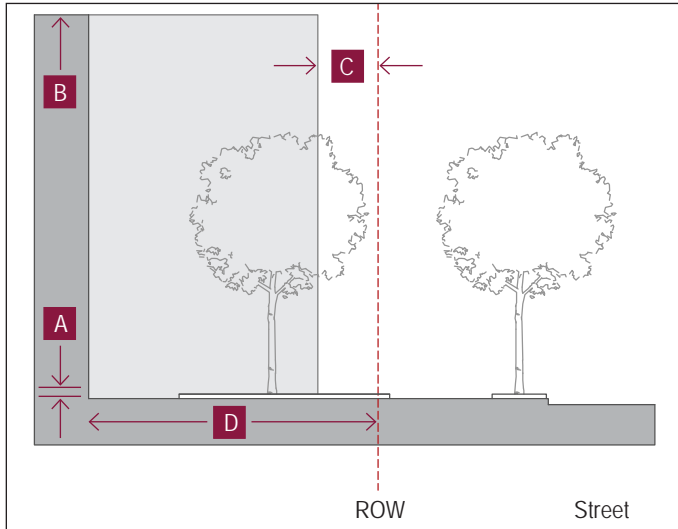
Stoop (Parallel, Covered)

Stoop (Perpendicular)

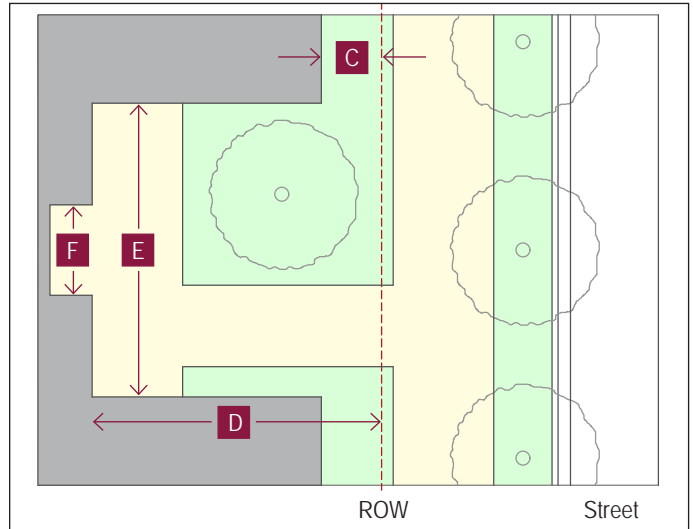


4. DOORYARD / FORECOURT

BUILDING SECTION



BUILDING PLAN



1. DESCRIPTION

Use	Intended for retail, restaurant, or dwelling uses.
Location	The Forecourt is defined by building side walls. Along ROW frontage of lot, with defined space and building entry directly from sidewalk.
Building Wall	Dooryard: building front parallel to sidewalk. Forecourt: sidewalls defined space of court.

2. ELEMENTS

Entrance	Direct to sidewalk.
Entry Elevation	At sidewalk level.
Covering / Enclosure	Awning or porch at entry shall not > 33% of depth.
Footprint	Shallow and broad along sidewalk.

3. DIMENSIONS

Vertical	<b>A</b>	Grade above sidewalk	24" max.
	<b>B</b>	Height of defined space	Unroofed
Horizontal	<b>C</b>	Setback from ROW (Side)	24" max.
	<b>D</b>	Setback from ROW	10' min., 20' max.
	<b>E</b>	Width of defined space	20' min. (or lot width)

4. MISCELLANEOUS

Windows		Retail gr. flr. transparency	75% min.
		Resid. gr. flr transparency	50% min.
Design	<b>F</b>	Entry width generous scale	5'-0" min.
		Clear demarcation of space from sidewalk.	
		Ground level materials well detailed.	
Signage		Details of sign design	See section xx

5. PHOTOGRAPHS



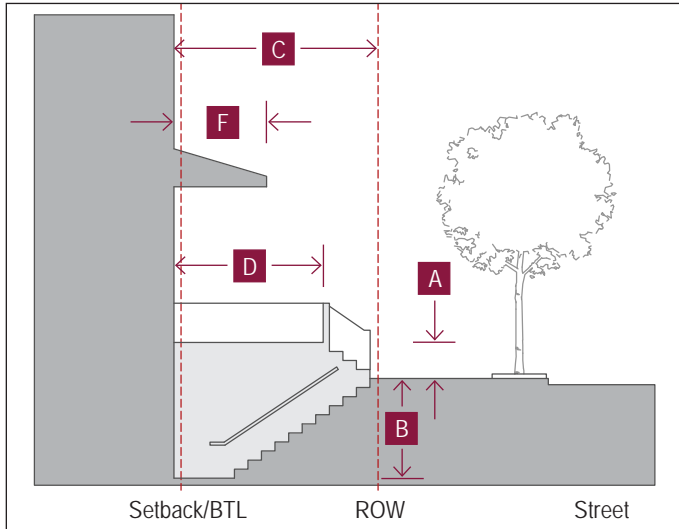
Dooryard

Forecourt

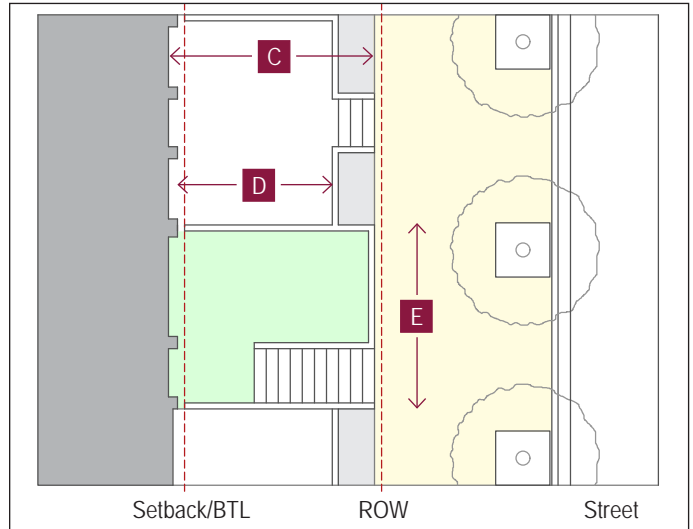


5. TERRACE / LIGHT COURT

BUILDING SECTION



BUILDING PLAN



1. DESCRIPTION

Use	Intended for commercial or residential uses. Elevation (up, down) separates use from ROW.
Location	Commercial and dwelling entry directly adjacent to sidewalk with steps up or down.
Building Wall	Building front parallel to sidewalk, with windows and entry fully open to frontage space.

2. ELEMENTS

Entrance	Direct to sidewalk with steps up or down.
Entry Elevation	Above sidewalk (terrace) or below (light court).
Covering / Enclosure	Awning / porch provide min. sun, weather shelter.
Footprint	Moderate depth and broad along sidewalk.

3. DIMENSIONS

Vertical	A	Elevation terrace (above)	1'-0" min., 3'-0" max.
	B	Elevation light court (below)	6'-0" min., 9'-0" max.
Horizontal	C	Wall setback from ROW	8'-0" min., 15'-0" max.
	D	Depth of terrace platform	8'-0" min., 15'-0" max.
	E	Width (terrace, light court)	75% building width min.

4. MISCELLANEOUS

Windows	Terrace gr. flr. transparency	75% min.	
Awnings	F	Depth of awning not to exceed	50% of terrace.
		Details of awning design	See section xx
Railings		Well designed, quality material.	
Signage		Details of sign design	See section xx

5. PHOTOGRAPHS



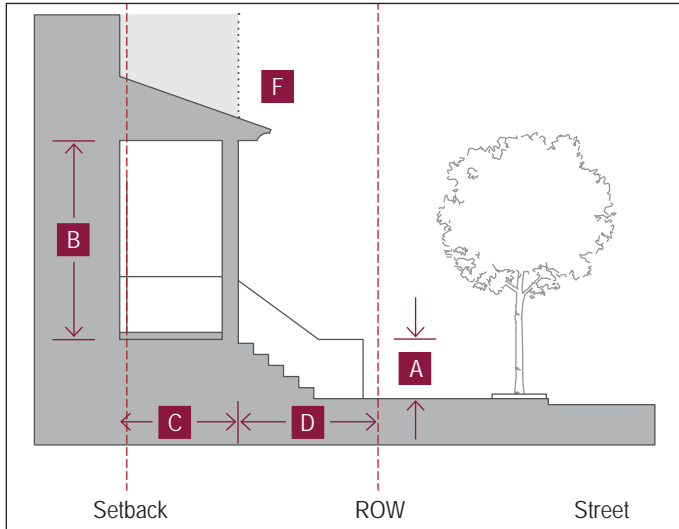
Terrace

Light Court

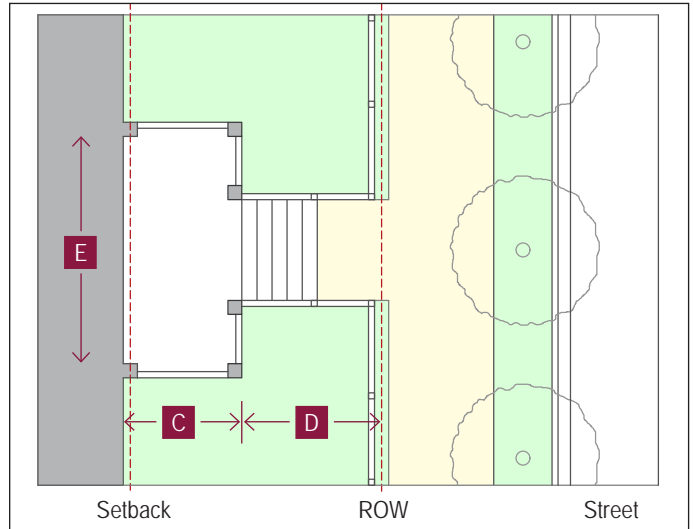


6. PORCH & FENCE

BUILDING SECTION



BUILDING PLAN



1. DESCRIPTION

Use	Intended for residential uses, either for entry only, or entry & semi-private covered area.
Location	Primarily at building front facing ROW frontage, and may also include area on either side of building.
Building Wall	Recessed: setback from ROW - 15' min., 35' max. Projecting: setback from ROW - 20' min., 35' max.

2. ELEMENTS

Entrance	At porch above yard, steps and walk to sidewalk.
Entry Elevation	A step (or a few) directly above porch.
Covering / Enclosure	Covering roof (or ceiling of porch above) required.
Footprint	Projecting porch - min. area greater than 42 sq.ft.

3. DIMENSIONS

Vertical	A	Height of porch above yard	2'-6" min., 8'-0" max.
	B	Height of porch opening	8'-0" min.
Horizontal	C	Depth of porch	7'-0" min., 15'-0" max.
	D	Setback of porch from ROW	13'-0" min., 20'-0" max.
	E	Width of porch (min.)	12' (rec'd), 6' (proj'g.)

4. MISCELLANEOUS

Recessed Porch	<b>F</b> A porch inset within building volume, with volume above - either a roof or a second floor.
Projecting Porch	May be single story or multiple story in height, and may range small to large in footprint area.
Design	Porch piers, railings, steps well designed.

5. PHOTOGRAPHS



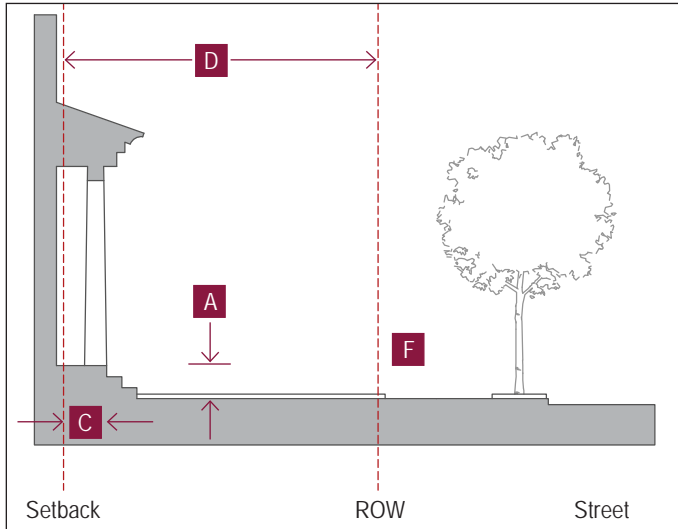
Recessed Porch

Projecting Porch

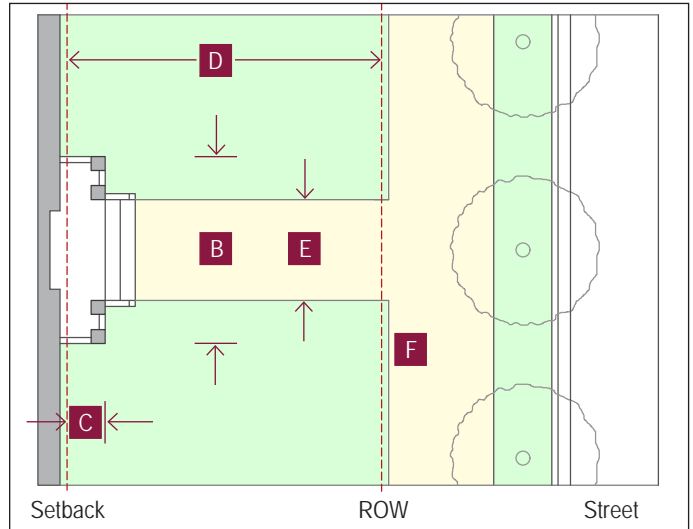


7. COMMON LAWN

BUILDING SECTION



BUILDING PLAN



1. DESCRIPTION

<b>Use</b>	Intended for residential (and special civic) use of low to moderate intensity, within edges of neighborhood.
<b>Location</b>	Along lot frontage, establishing a widened space of the street through the continuity of open yards.
<b>Front Yard Elevation</b>	May be raised above the sidewalk, or may be level with the sidewalk -without changing between lots.

2. ELEMENTS

<b>Entrance</b>	Oriented to sidewalk, configuration may vary.
<b>Entry Elevation</b>	At or near sidewalk level.
<b>Entry Covering</b>	Entry element at doorway determined by subzone.
<b>Footprint</b>	Dimensions of front yard determined by subzone.

3. DIMENSIONS

<b>Vertical</b>	<b>A</b> Entry porch height	6" min., 48" max.
	<b>B</b> Front yard elevation	0'-0" min., 4'-0" max.
<b>Horizontal</b>	<b>C</b> Porch encroachment in setback	8'-0" max.
	<b>D</b> Setback of front wall	Per zone standard
	<b>E</b> Entry walkway width	3'-6" min., 8'-0" max.

4. MISCELLANEOUS

<b>Entrance</b>	Entry required at or near front wall. Walkway required from sidewalk.
<b>Projecting Porch</b>	<b>F</b> Fence not required. See section xx Standards of subzone control.
<b>Design</b>	<b>G</b> Vertical elements per subzone. See section xx

5. PHOTOGRAPHS



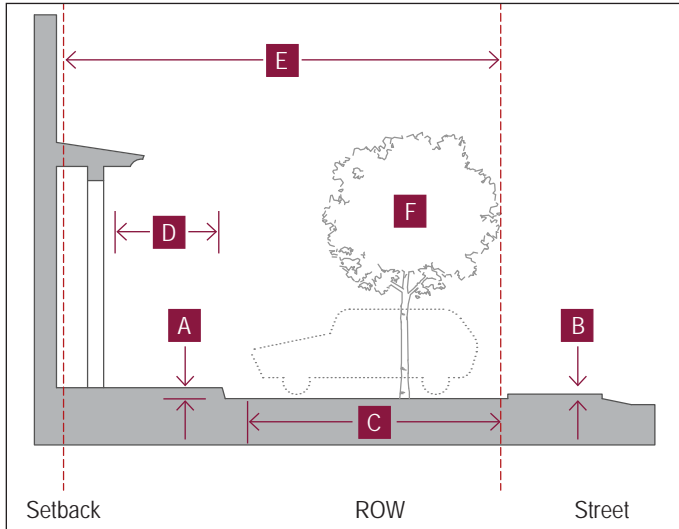
Raised above Sidewalk

Level with Sidewalk

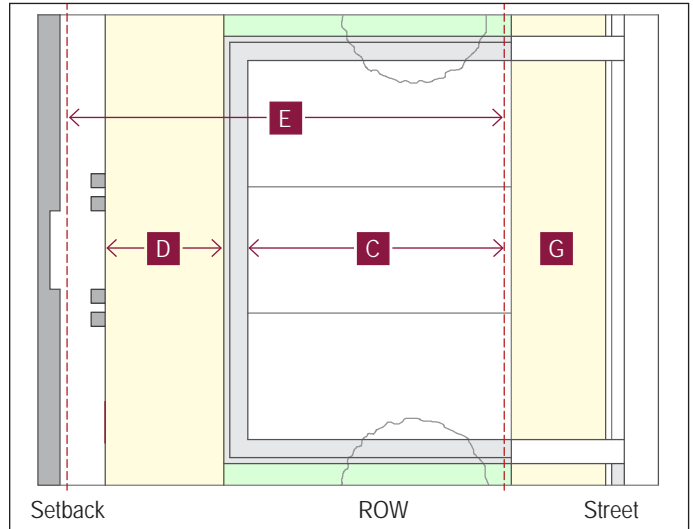


8. CONVENIENCE PARKING

BUILDING SECTION



BUILDING PLAN



1. DESCRIPTION

<b>Use</b>	For commercial settings, small numbers of parking, head-in or parallel, for customer access to business.
<b>Location</b>	At the front of lot, within private (ownership) frontage so as to avoid any parking within street ROW.
<b>Building Wall</b>	Set back directly from the private parking and its walkway, providing entry visibility and accessibility.

2. ELEMENTS

<b>Entrance</b>	Directly visible and accessible from parking.
<b>Entry Elevation</b>	Full commercial front with business windows, doors.
<b>Covering/Enclosure</b>	Building walkway may be covered - awning/porch.
<b>Footprint</b>	Parking area not to exceed 6 spaces (head-in).

3. DIMENSIONS

<b>Vertical</b>	<b>A</b>	Elevation of building sidewalk	6" min., 24" max.
	<b>B</b>	Elevation of parking grade	3" min., 8" max.
<b>Horizontal</b>	<b>C</b>	Depth of head-in parking	19'-0" min., 24'-0" max.
	<b>D</b>	Width to building sidewalk	6'-0" min., 15'-0" max.
	<b>E</b>	Front wall setback	27'-0" min., 40'-0" max.

4. MISCELLANEOUS

<b>Windows</b>	Commercial window elevation.	75% min. window area
<b>Street Trees</b>	<b>F</b>	Complement public street trees in available locations.
<b>Public Sidewalk</b>	<b>G</b>	Sidewalk with ROW shall not be interrupted by parking.
<b>Residential Setting</b>		Not for use at frontage of dwellings.

5. PHOTOGRAPHS



Full Retail Frontage

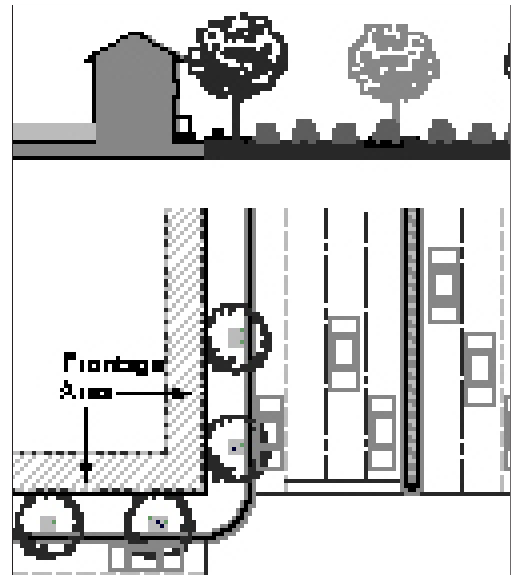
Modest Business Frontage



# STANDARDS

## REQUIREMENTS

- I. DEFINED PUBLIC SPACES
- II. FRONTAGES
- III. STREET FRONTS & DOORS
- IV. PRINCIPLE BUILDINGS
- V. ACCESSORY BUILDINGS
- VI. MODIFICATIONS & PROHIBITIONS



## I. DEFINED PUBLIC SPACES

### A. FRONTAGE TYPE & BUILDING TYPE

#### 1. Proper Frontages

##### a. Buildings Face Streets.

Frontage strategies create quality streetscapes and street spaces.

- i. Frontage Types used with precision for every building, according to use, building type, and Neighborhood Condition.

##### b. Open Spaces must be "Fronted" by Buildings.

Public spaces shall be considered a Front Condition for building lots, even if particular building lot also faces a thoroughfare. Proper building frontage required for lot edges at public spaces.

#### 2. Lot Fronts and Building Fronts

##### a. "Build-to-Line".

- i. Building front walls shall align parallel to street edge that lots front upon (or on line tangent to curved frontage line).
- ii. The build-to-line determines how building front of each lot shall define space of street.

##### b. Center-to-Edge.

There shall be a greater placement of building fronts defining the street in Center Conditions than Edge Conditions.

- i. Streets and sidewalks shall have different character and different requirements in each zone:
  - Most formal and regularized in Center zones (Tc/Nc/Na).
  - Least formal and regularized at Edges.
- ii. Center Conditions (Tc, Nc, Na) have a higher requirement of constant pedestrian use to be enhanced.



Figure 1. This "Porch and Fence" Frontage places the front building facade fifteen feet back from the street front line.

TABLE A

	NEIGHBORHOOD EDGE	RESIDENTIAL DETACHED	NEIGHBORHOOD GENERAL	RESIDENTIAL ATTACHED	NEIGHBORHOOD CENTER/CORE
<b>PRINCIPAL BUILDINGS</b>					
<b>HORIZONTAL CONDITIONS</b>					
<u>Frontage (Min.)</u>					
Build to Line/Bldg. Breadth (A)	40% of Facade	40% of Facade	50% of Facade	60% of Facade	60% of Facade
Build to Line/ Setback* (B) (Variation Permitted:)	12' - 0" (50% within 8')	12' - 0" (50% within 8')	6' - 0" (40% within 6')	4' - 0" (40% within 6')	0' - 0" (40% within 6')
<u>Setback (Min.)</u>					
Front (B)	10' - 0"	10' - 0"	3' - 0"	4' - 0"	0' - 0"
Side (C)	5' - 0"		5' - 0"	3' - 0"	0' - 0"
0' - 0"	12' - 0"				
Corner (D)	15' - 0"	12' - 0"	4' - 0"	4' - 0"	0' - 0"
Rear (E)	15' - 0"	15' - 0"	8' - 0"	6' - 0"	3' - 0"
<u>Proximity</u>					
Building to Building (Min.) (F)	10' - 0"	10' - 0"	6' - 0" (Unless Attached)	6' - 0" (Unless Attached)	6' - 0" (Unless Attached)
<u>Porch (When used)</u>					
	(70% Reg.)	(70% Req.)	(70% Req.)		
Depth (Min.) (G)	6' - 0"	6' - 0"	5' - 0"	4' - 0"	4' - 0"
Length (Min.) (H)	8' - 0"	8' - 0"	8' - 0"	7' - 0"	6' - 0"
<u>Arcade (When used)</u>					
Depth (G)	(N.A.)	(N.A.)	6' - 0"	(50% Req.) 6' - 0"	(50% Req.) 6' - 0"
Length (H)	(N.A.)	(N.A.)	12' - 0"	12' - 0"	12' - 0"
<u>Fence/Wall (When used)</u>					
	(33% Reg.)	(33% Req.)	(33% Req.)		
Frontage Setback (I)	0' - 0" to 2' - 0"	0' - 0" to 2' - 0"	0' - 0" to 1' - 0"	0' - 0" to 1' - 0"	0' - 0" to 1' - 0"
Length at Lot Front (Min.) (I) (Incl. Corner Length)	50% of frontage	50% of frontage	60% of frontage	70% of frontage	75% of frontage
<u>Garage Door Setback (Min.)</u>					
Mld-Block Garage (J)	15' - 0"	15' - 0"*	14' - 0"*	12' - 0"*	12' - 0"*
Corner Garage		(Outside Corner Prohib)	(Outside Corner Prohib)	(Outside Corner Prohib)	(Outside Corner Prohib)
<u>Driveway Widths</u>					
Width at Frontage (Max.)		(See Table A, Section II.B.2 Plat & Parcel)			
<b>VERTICAL CONDITIONS</b>					
<u>Stories (Max.)</u>					
	2.5	2.5	3	3*	3.5*
<u>Height</u>					
Roof Ridge (Max.)* (K)	35' - 0"	35' - 0"	40' - 0"	50' - 0"*	55' - 0"
Eave / Cornice (Max.)* (L)	30' - 0"	30' - 0"	36' - 0" (8' - 0" Lower When Adjacent to Single Residences)	42' - 0"*	48' - 0"
Front Porch Floor (Min.)* (M)	2' - 0"	2' - 0"	2' - 0"	2' - 6"	2' - 6"
Main Entry Floor (Min.)* (N)	2' - 6"	2' - 6"	3' - 0"	3' - 0"	
Ground Floor (below grade) (O)	5' - 0"	5' - 0"	5' - 0"	5' - 0"	
<u>Windows to Street</u>					
Size of Windows (Minimum relative to other walls)	15% larger	15% larger	15% larger	15% larger	15% larger
<u>Fence/Garden Wall</u>					
Height at Front Yard (Max) (P)	4' - 0"	4' - 0"	4' - 0"	4' - 0"	5' - 0"
Height at Side & Rear (Max) (Q) (15' Behind Line of Front Facade)	6' - 3"	6' - 3"	6' - 3"*	6' - 3"*	8' - 0"*
<b>MASS &amp; VOLUME</b>					
<u>SINGLE RESIDENCE (Att. &amp; Det.)</u>					
Floor Area (Max.)					
Principal Building/Total Area	7,000 SF	7,000 SF	6,500 SF	6,000 SF	6,000 SF
F. A. R. (Max.)	0.50	0.50	0.80	1.00	1.25
Principal & Accessory	(Not to exceed 110% of above SF)	(Not to exceed 110% of above SF)	(Not to exceed 110% of above SF)	(Not to exceed 110% of above SF)	(Not to exceed 110% of above SF)
<u>OTHER BUILDING TYPES</u>					
F. A. R. (Max.)					
Principal & Accessory/Total	0.50	0.50	0.60	0.80	1.00

TABLE B

	NEIGHBORHOOD EDGE (NE)	RESIDENTIAL DETACHED (ND)	NEIGHBORHOOD GENERAL (NG)	RESIDENTIAL ATTACHED (NA)	NEIGHBORHOOD CENTER/CORE (NC/TC)
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**ACCESSORY BUILDING**

**HORIZONTAL CONDITIONS**

<b>Frontage (Min.)</b>					
Build to Line/ Bldg. Breadth (S)	N.A.	N.A.	N.A.	N.A.	N.A.
Build to Line/ Setback (T)	20' - 0"	15' - 0"	10' - 0"	6' - 0"	4' - 0"
<b>Setback (Min.)</b>					
Front (T)	25' - 0"	20' - 0"	14' - 0"	6' - 0"	4' - 0"
Side (U)	15' - 0"	10' - 0"	6' - 0"	4' - 0"	0' - 0"
(Occupied)		(Conditional Use)	(Conditional Use)	(Conditional Use)	
Side (U)	8' - 0"	5' - 0"	3' - 0"	3' - 0"	0' - 0"
(Unoccupied)					
Corner (T)	15' - 0"	12' - 0"	6' - 0"	4' - 0"	4' - 0"
Rear (V)	8' - 0"	5' - 0"	5' - 0"	3' - 0"	3' - 0"
(Occupied)					
Rear (V)	6' - 0"	3' - 0"	3' - 0"	3' - 0"	3' - 0"
(Unoccupied)					
Rear to Side Lot (W)	15' - 0"	10' - 0"	5' - 0"	5' - 0"	5' - 0"
<b>Proximity (Min.)</b>					
Distance to Main Building (X)	10' - 0"	8' - 0"	6' - 0"	6' - 0"	6' - 0"
<b>Garage Setback (Min.)</b>					
Det. Garage: Door Facade (Y)	18' - 0"	15' - 0"	14' - 0"	8' - 0"	6' - 0"
(Setback from Principle Building)					
Corner Garage (Det.) (Y)		Prohibited	Prohibited	Prohibited	Prohibited
<b>VERTICAL CONDITIONS</b>					
<b>Height (Max.)</b>					
Ridge (Z)	26' - 0"	26' - 0"	26' - 0"	26' - 0"	26' - 0"
(Occupied Building)					
Ridge (Z)	24' - 0"	24' - 0"	24' - 0"	24' - 0"	24' - 0"
(Unoccupied Building)					
Eave / Cornice (AA)	20' - 0"	20' - 0"	20' - 0"	20' - 0"	20' - 0"
(Occupied Building)					
Eave / Cornice (AA)	16' - 0"	16' - 0"	16' - 0"	16' - 0"	16' - 0"
(Unoccupied Building)					
<b>MASS &amp; VOLUME</b>					
<b>Floor Area (Max.)</b>					
Occupied Building					
Occupied Space/Tot. Area	600 SF	600 SF	600 SF	600 SF	600 SF
Unoccupied Space/Tot. Area	800 SF	800 SF	800 SF	800 SF	800 SF
Unoccupied Building					
Total Space	900 SF	900 SF	900 SF	900 SF	900 SF

**MISC. ELEMENTS**

**HORIZONTAL CONDITIONS**

Miscellaneous structures (smaller than common accessory structures) are subject to same setbacks as Accessory Buildings.

**PARKING BUFFER**

(ALL EDGE CONDITIONS)

**LANDSCAPE DIMENSION**

**Small / Off Street (4 - 6 Cars)**

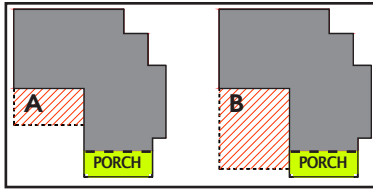
Frontage Zone of Lot	8' - 0"	6' - 0"	4' - 0"	4' - 0"	4' - 0"
Side & Rear of Lot*	8' - 0"	6' - 0"	4' - 0"	4' - 0"	4' - 0"
<b>Large / Off Street</b>					
Frontage of Lot	12' - 0"	8' - 0"	4' - 0"	4' - 0"	4' - 0"
Side & Rear of Lot*	12' - 0"	8' - 0"	4' - 0"	4' - 0"	4' - 0"

DIAGRAM 1

ALTERNATIVE GARAGE SETBACKS

Alternatives for Garage Setback for single family dwellings.

- A: Reducing garage setback requirement by 50% for a 'qualifying' lot. Certain zones require a proportion of rear car access.
- B: Allowing projecting garage - up to 8'-0" in front of front wall of residence. Option not available in Nc/Na zones.
- C: Side Turned Garage (accessed from lot frontage).



	NEIGHBORHOOD RURAL (NR)			RESIDENTIAL/ DETACHED (ND)			NEIGHBORHOOD GENERAL (NG)		
	18' - 0" Gar. Setback (Base Req.)			15 - 0" Gar. Setback (Base Req.)			12' - 0" Gar. Setback (Base Req.)		
	Options: A 50% Setback Reduction	B 50% Setback to 8' Projection	C Side Turned Garage	Options: A 50% Setback Reduction	B 50% Setback to 8' Projection	C Side Turned Garage	Options: A 50% Setback Reduction	B 50% Setback to 8' Projection	C Side Turned Garage
<b>PLATTING &amp; PARCEL LAYOUT</b>									
MAX.% OF LOTS WITH ALLOWED CONDITION	25%	25%	25%	25%	25%	25%	25%	10%	10%
MINIMUM LOT WIDTH	-- --	70'-0"	-- --	-- --	70'-0"	-- --	-- --	65'-0"	-- --
<b>BUILDINGS &amp; FRONTAGES</b>									
GARAGE FRONT WIDTH < 40% TOTAL HOUSE WIDTH	Req'd	Req'd	Req'd	Req'd	Req'd	Req'd	Req'd	Req'd	Req'd
MIN. BLDG. FRONT FACE AT BUILD-TO-LINE*	60% of face	-- --	60% of face	70% of face	-- --	70% of face	75% of face	-- --	70% of face
GARAGE DOOR SETBACK FROM FRONT LOT LINE	20'-0"	20'-0"	-- --	20'-0"	20'-0"	-- --	20'-0"	20'-0"	-- --
GARAGE AT OUTSIDE CORNER OF CORNER LOT	Prohib.	Prohib.	Prohib.	Prohib.	Prohib.	Prohib.	Prohib.	Prohib.	Prohib.
SIDE OF GARAGE SET BEHIND BUILD-TO-LINE	-- --	-- --	Req'd	-- --	-- --	Req'd	-- --	-- --	Req'd
SIDE OF GARAGE SET >5' BEHIND BLDG. FRONT WALL	-- --	-- --	Req'd	-- --	-- --	Req'd	-- --	-- --	Req'd
<b>PUBLIC SPACES</b>									
LOTS FRONTING PUBLIC SPACE	Allowed	Prohib.	Allowed	Allowed	Prohib.	Allowed	Prohib.	Prohib.	Allowed
<b>PARKING &amp; ACCESS</b>									
MAXIMUM DRIVEWAY WIDTH AT FRONT LOT LINE	15'-0"	15'-0"	15'-0"	15'-0"	15'-0"	15'-0"	15'-0"	15'-0"	15'-0"
THREE CAR GARAGE FACING STREET (OPTION A/B)	Prohib.	Prohib.	-- --	Prohib.	Prohib.	-- --	Prohib.	Prohib.	-- --
THREE CAR GARAGE FACING STREET (FULL SETBACK)	-- --	-- --	-- --	-- --	-- --	-- --	3 Car Prohibited at Full Setback	-- --	-- --
<b>STREETSCAPE</b>									
STREET TREES FRONT STREETSCAPE /MIN. CALIPER	3"	3"	3"	3"	3"	3"	3"	3"	3"
STREET TREES FRONT STREETSCAPE /MAX. SPACING	25'-0"	25'-0"	25'-0"	25'-0"	25'-0"	25'-0"	25'-0"	25'-0"	25'-0"
STREET TREES REQUIRED BETWEEN TWO DRIVES	-- --	Req'd	Req'd	-- --	Req'd	Req'd	-- --	Req'd	Req'd
MINIMUM PARKSTRIP WIDTH AT LOT FRONTAGE	-- --	8'-0"	-- --	-- --	8'-0"	-- --	-- --	7'-0"	-- --
<b>LANDSCAPE</b>									
WITHIN FRONT YARD: TREES (MIN. NUMBER)	One additional to requirement			One additional to requirement			One additional to requirement		
WITHIN FRONT YARD: TREES (MIN. CALIPER)	3"	3"	3"	3"	3"	3"	3"	3"	3"
FENCE / HEDGE ALONG ENTIRE LOT FRONTAGE	Req'd	Req'd	Req'd	Req'd	Req'd	Req'd	Req'd	Req'd	Req'd
<b>ARCHITECTURE</b>									
ROOFED ENTRY PORCH (MIN. AREA/ALL HOUSES)	90 s.f.	110 s.f.	90 s.f.	90 s.f.	110 s.f.	90 s.f.	90 s.f.	110 s.f.	90 s.f.
FRONT PORCH STEPS RAILINGS	Req'd	Req'd	Req'd	Req'd	Req'd	Req'd	Req'd	Req'd	Req'd
QUALITY PORCH DESIGN & DETAIL*	Req'd	Req'd	Req'd	Req'd	Req'd	Req'd	Req'd	Req'd	Req'd
PORCH PROJECTION REQUIRED BEYOND GARAGE	-- --	2'-0"	-- --	-- --	2'-0"	-- --	-- --	2'-0"	-- --
ROOF PROJECTION (WITH PIERS) OVER GARAGE FRONT	Alt. 1	-- --	-- --	Alt. 1	-- --	-- --	Alt. 1	-- --	-- --
MAX. WIDTH OF TWO CAR GARAGE DOOR	16'-0"	16'-0"	16'-0"	16'-0"	16'-0"	16'-0"	16'-0"	16'-0"	16'-0"
GARAGE DOOR: WINDOW/COLOR/DESIGN VARIATION	-- --	Req'd	Req'd	-- --	Req'd	Req'd	-- --	Req'd	Req'd
HIGH GARAGE VOLUME: WINDOWS ABOVE FIRST FLOOR*	Req'd	Req'd	Req'd	Req'd	Req'd	Req'd	Req'd	Req'd	Req'd
TWO SEPARATE 9' - 0" GARAGE DOORS	Alt. 2	-- --	-- --	Alt. 2	-- --	-- --	Alt. 2	-- --	-- --
WINDOWS ON FRONT WALL, SIDE GARAGE	-- --	-- --	Req'd	-- --	-- --	Req'd	-- --	-- --	Req'd

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DIAGRAM 2

FRONTAGE TYPE

1. ARCADE & GALLERY

2. SHOPFRONT

3. STOOP

4. DOORYARD / FORECOURT

5. TERRACE / LIGHT COURT

6. PORCH & FENCE

7. COMMON LAWN

8. CONVENIENCE PARKING

